



Agenda

Council Meeting | Thursday, October 16, 2025 | 9:00 AM | Council Chambers

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A. CALL TO ORDER

B. ADOPTION OF AGENDA

C. ADOPTION OF MINUTES

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1. County Council Meeting Minutes
[Council Meeting - 02 Oct 2025 - Minutes](#)

D. DELEGATIONS

1. 9:30 a.m. - Chinook Regional Hospital Foundation

E. DEPARTMENT REPORTS

E.1. DEVELOPMENT & INFRASTRUCTURE

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- E.1.1. Development Permit Application 2025-183 (Franz Peters)
[Development Permit Application 2025-183 \(Franz Peters\)](#)

E.2. ADMINISTRATION

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- E.2.1. 2026 Council Meeting Schedule
[2026 Council Meeting Schedule](#)

F. COUNTY COUNCIL AND COMMITTEE UPDATES

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1. Lethbridge County Council Attendance Update - September 2025
[Lethbridge County Council Attendance Update - September 2025](#)

G. CORRESPONDENCE

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1. The Royal Canadian Legion
[The Royal Canadian Legion](#)

H. NEW BUSINESS

I. CLOSED SESSION

1. **Fire Service Agreement Review & Discussion (ATIA Section 26 - Disclosure harmful to intergovernmental relations)**
2. **CAO Report - C. Beck (ATIA Sections 19, 20, 28 and 29)**
3. **Personnel Matter (ATIA Section 22 - Confidential Evaluations)**

J. ADJOURN



Minutes

Council Meeting | Thursday, October 2, 2025 | 9:00 AM | Council Chambers

The Council Meeting of Lethbridge County was called to order on Thursday, October 2, 2025, at 9:00 AM, in the Council Chambers, with the following members present:

PRESENT:

- Reeve Tory Campbell
- Deputy Reeve John Kuerbis
- Councillor Lorne Hickey
- Councillor Mark Sayers
- Councillor Kevin Slomp
- Councillor Morris Zeinstra
- Chief Administrative Officer Cole Beck
- Director, Development & Infrastructure Devon Thiele
- Director, Corporate Services Hailey Pinksen
- Director, Operations Ryan Thomson
- Executive Assistant Candice Robison

A. CALL TO ORDER

Reeve Tory Campbell called the meeting to order at 9:02 a.m.

Reeve Campbell read the following land acknowledgement:

In the true spirit of reconciliation, we acknowledge all those who call this land home now and for thousands of years in the past. May we respect each other and find understanding together and recognize the benefits that this land provides to all of us.

B. ADOPTION OF AGENDA

The following item was added to the agenda:

G.1. - Intersection - Highway 23 & Township Road 102

272-2025	Councillor Sayers	MOVED that the October 2, 2025 Lethbridge County Council Meeting Agenda be adopted as amended.
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CARRIED

C. ADOPTION OF MINUTES

C.1. County Council Meeting Minutes

273-2025	Councillor Slomp	MOVED that the September 18, 2025 Lethbridge County Council Minutes be adopted as presented.
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CARRIED

E. DEPARTMENT REPORTS

E.1. CORPORATE SERVICES

E.1.1. Assessment Services

274-2025	Councillor Slomp	MOVED that County Council award the Assessment Services contract to Benchmark Assessment Consultants Inc. per their July 24, 2025 proposal and fee schedule.
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CARRIED

E.2. OPERATIONS

E.2.1. 2026 Capital Equipment Purchasing

- | | | | |
|----------|-------------------|---|---------|
| 275-2025 | Councillor Sayers | MOVED that Council approve the 2026 Fleet Capital Budget for purchasing requirements. | CARRIED |
|----------|-------------------|---|---------|

E.3. ADMINISTRATION

E.3.1. Community Planning Association of Alberta (CPAA) - 2026 Annual Conference and Sponsorship

- | | | |
|----------|------------------|---|
| 276-2025 | Councillor Slomp | <p>MOVED that Lethbridge County Council approve sponsorship of the 2026 CPAA Conference at the Signature Sponsor level in the amount of \$3,000, with funds to come from the Council's Discretionary Reserve, and that any member of Council be eligible to attend.</p> <p style="text-align: right;">CARRIED</p> |
|----------|------------------|---|

D. DELEGATIONS

D.1. 9:30 a.m. - Ethan Honess - Lethbridge County Bursary Winner

Ethan Honess was present to accept his Lethbridge County Bursary Award.

F. CORRESPONDENCE

F.1. *MD of Willow Creek*

Council received an invitation from the MD of Willow Creek to attend their 32nd Legacy of Our Land Banquet taking place on November 7, 2025.

F.1. Picture Butte & District Chamber of Commerce - Best of the Best

Council received an invitation from the Picture Butte & District Chamber of Commerce's Best of the Best Awards taking place on October 17, 2025, where Councillor Morris Zeinstra is being nominated as Citizen of the Year.

G. NEW BUSINESS

G.1. Intersection - Highway 23 & Twp Rd 102

Council discussed concerns regarding the intersection at Highway 23 & Township Road 102.

H. CLOSED SESSION

H.1. - CAO Report - C. Beck (ATIA Sections 19, 20, 28 and 29)

- | | | |
|----------|-------------------|---|
| 277-2025 | Councillor Hickey | MOVED that the Lethbridge County Council Meeting move into Closed Session, pursuant to Section 197 of the Municipal Government Act, the time being 9:41 a.m. for the discussion on the following: |
|----------|-------------------|---|

H.1. - CAO Report - C. Beck (ATIA Section 19, 20, 28 and 29)

Present during the Closed Session:
Lethbridge County Council
Chief Administrative Officer
Senior Management
Administrative Staff

CARRIED

- | | | |
|----------|-------------------|---|
| 278-2025 | Councillor Sayers | MOVED that the Lethbridge County Council Meeting move out of the closed session at 10:53 a.m. |
|----------|-------------------|---|

CARRIED

I. ADJOURN

279-2025	Councillor Zeinstra	MOVED that the Lethbridge County Council Meeting adjourn at 10:54 a.m. CARRIED
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Reeve

CAO

AGENDA ITEM REPORT



Title: Development Permit Application 2025-183 (Franz Peters)
Meeting: Council Meeting - 16 Oct 2025
Department: Development & Infrastructure
Report Author: Jessica Potack

APPROVAL(S):

Kaylyn Franklin, Manager, Planning and Development
Devon Thiele, Director, Development & Infrastructure
Cole Beck, Chief Administrative Officer

Approved - 09 Oct 2025
Approved - 09 Oct 2025
Approved - 09 Oct 2025

STRATEGIC ALIGNMENT:



Governance



Relationships



Region



Prosperity

EXECUTIVE SUMMARY:

A Development Permit application has been submitted by Franz Peters for a *Single-Detached Site-Built Dwelling* (2622 sq. ft. main, 617 sq. ft. 2nd), *Attached Garage* (1888 sq. ft.), *Two (2) Covered Patios* (236 sq. ft., 1157 sq. ft.), and a *Height Waiver; Building and Trade Contractor Services Shop* (Cabinetry - 8400 sq. ft. main, 1510 sq. ft. 2nd) with *Lean-To* (405 sq. ft.). As per Direct Control Bylaw 23-022, Council is the Development Authority for all Development Permit Applications in this district.

RECOMMENDATION:

That Development Permit Application 2025-183 be approved as drafted.

REASON(S) FOR RECOMMENDATION(S):

Conversations with the Developer of this area have indicated that the maximum height of 25.0 feet should not have been applied to dwelling units. Only the Hamlet Residential District imposes a maximum height on residential dwellings, which is 33 feet.

PREVIOUS COUNCIL DIRECTION / POLICY:

- Council previously approved a Single-Detached Site-Built Dwelling as a permitted use, and Building and Trade Contractor Services as a discretionary use under Direct Control Bylaw 23-022.
- Council previously approved Direct Control Bylaw 23-022 which stipulates that the maximum height of residential buildings is 25.0 feet. However, as the maximum height is a measurable standard and is not otherwise indicated as invariable, the maximum height requirement can be waived.

BACKGROUND INFORMATION:

The proposed development is located within the Country Side Area Structure Plan, which encompasses a finalized total of seven parcels. To the south are two Grouped Country residential lots which have been subdivided and are in the queue to be registered with Land Titles. The remaining parcel is currently a singular Direct Control lot which has also been approved for subdivision and is in the process of fulfilling conditions for registration with land titles. Although the subdivision process is not fully complete, this Development Permit Application reasonably conforms to the requirements of the Area Structure Plan and Direct Control Bylaw standards and can therefore be processed accordingly.

The applicant has requested a height variance for the dwelling from 25 feet to 35 feet. The applicant has indicated that, should a variance for the proposed dwelling not be granted by Council, he is prepared to amend his construction plans. However, his preference is to proceed with the plans in their current form. These plans have received Architectural Controls Approval from the Developer.

ALTERNATIVES / PROS / CONS:

- As the residential dwelling, with the exception of the height variance request, is a permitted use that meets all standards of the Land Use Bylaw and Direct Control Bylaw 23-022, County Council must approve this portion of the application.
- County Council may refuse the height variance and approve all other uses of the Development Permit Application. The refusal of a variance request is at the discretion of Council, on the basis that variance requests are discretionary.
- County Council may refuse the height variance and Building and Trade Contractor Services Shop. The partial refusal is at the discretion of Council, on the basis that these uses are discretionary.

FINANCIAL IMPACT:

An future development on this parcel is subject to the appropriate Residential and Commercial/Industrial tax rate.

LEVEL OF PUBLIC PARTICIPATION:

☐

Inform

☐

Consult

☒

Involve

☐

Collaborate

☐

Empower

ATTACHMENTS:

[2025-183 DPA](#)

[2025-183 DC Bylaw 23-022](#)

[2025-183 Approved Grading and Drainage Plan](#)

[2025-183 Internal Site Plan](#)

[2025-183 Architectural Control Approved Plans](#)

[2025-183 DRAFT DP FOR COUNCIL](#)

[2025-183 Submitted Plans \(Digital Copies, Match Architectural Controls Approved Plans\)](#)

[2025-183 ATEC Permit Required](#)



Form A: Development Permit Application

Pursuant to Land Use Bylaw No. 24-007

Office Use		
Application No:	Roll No:	Use: ☐ Permitted ☐ Discretionary ☐ Similar ☐ Prohibited
Application Fee: \$ 500.00	Date Paid:	Land Use District:
Application Received/Complete:		☐ Rural Agriculture ☐ Urban Fringe ☐ Grouped Country Residential ☐ Rural General Industrial ☐ Business Light Industrial ☐ Rural Commercial ☐ Rural Recreational
Notification or Advertised Date:	Effective Date:	☐ Hamlet Residential ☐ Hamlet Commercial ☐ Hamlet Industrial ☐ Hamlet Public/Institutional ☐ Hamlet Direct Control ☐ Hamlet Transitional/Agricultural ☐ Direct Control
Municipal Address Application Submitted: ☐ Yes ☐ Not Required		
Approach Application Submitted: ☐ Yes ☐ Not Required		
AER Abandoned well information provided: ☐ Yes ☐ No		
Site Plans or drawings Submitted: ☐ Yes ☐ No		Site Visit Conducted: ☐ No ☐ Yes Date:

1. Applicant Information

Applicant's Name: Franz Peters

Phone/Cell Phone: 403 892 0845 Email: Franzpeters2013@gmail.com

Mailing Address: 210036 Twp rd 102

Registered Owner's Name: ~~Franz Peters~~ Blair Frache 403-382-8984; blair@324700ab.com

Phone/Cell Phone: ~~403 892 0845~~ Email: ~~Franzpeters2013@gmail.com~~

Mailing Address: ~~210036 Twp rd 102~~ PO BOX 426, Coaldale

Applicant's interest in the proposed development if not the registered owner:

☐ Agent ☐ Contractor ☐ Tenant ☐ Other: _____

2. Land Information

SE-1-9-21-4

Quarter: SW 1/4 Section: 1 Township: _____ Range: 210A W4M 9-21

Lot(s) 6 Block: 1 Plan: _____

Municipal/Street address: TBD

* Subject to Municipal Address Bylaw 1315, if there is currently not a municipal address on the parcel a municipal address application must be submitted.

Area of Parcel: 6.0 Acres _____ Hectares Land Use District: _____

#100, 905 4 Avenue South
Lethbridge, Alberta T1J 4E4
P: 403.328.5525 Toll-free: 855.728.5602
E: development@lethcounty.ca



Form A: Development Permit Application

Pursuant to Land Use Bylaw No. 24-007

3. Development Information

(a) Existing Development

Please list the existing buildings, structures and use(s) on the land. (Please indicate if any are to be removed or relocated.)

vacant

(b) Proposed Development

Please describe the proposed development including uses, buildings, structures, and any planned renovations and additions that are to be constructed on the lot.

A shop for cabinet building. A house and garage
business

For **Residential** development please check the applicable box below:

☒ Single-detached dwelling

☒ Site Built

☐ Ready to Move

☐ Moved-In (Previously Occupied)

☐ Manufactured Home 1 (New)

☐ Manufactured Home 2 (Used)

Year of Build: _____

☐ Ground Mount Solar Array

☐ Semi-detached dwelling

☐ Accessory Building/Structure (e.g.: deck/garage/shop)

☐ Addition

☐ Other Dwelling Type: _____

Does dwelling application include an attached garage

☒ Yes ☐ No

For **Non-Residential** development please check the applicable box below if the proposed development is for one of the following AND complete the supplementary form:

☐ Home Occupation
(Form A1)

☐ Commercial/Industrial
(Form A2)

☐ Sign(s)
(Form A3)

☐ Demolition
(Form A4)

☐ Change of Use
Original Use: _____

For **Agricultural/Farm** development please provide the following information

(a) What is the nature of the Agricultural/Farm Operation?

(b) What is the Building Occupancy? (ie. Housing of Livestock, Equipment Storage, Processing, etc.):

(c) What is the total occupant load? (# of persons occupying structure at any given time): _____

Form A: Development Permit Application

Pursuant to Land Use Bylaw No. 24-007

4. Building Details

If constructing more than one structure, please indicate what each structure is below (ie. House, Addition, Shop, Deck, etc.):

Size/ Dimensions		Office Use	
Structure: <u>House</u>	Structure: <u>shop</u>		
Building or Addition Size: <u>2614 ft</u>	Building or Addition Size: <u>8400 ft</u>		
Building Height (grade to peak) <u>35 ft</u>	Building Height (grade to peak) <u>25 ft</u>		
Estimated Cost of Development: \$ <u>800 000</u>	Estimated Cost of Development: \$ <u>600 000</u>		

Proposed Setbacks from Property Lines		Office Use	
Structure: <u>House</u>	Structure: _____		
Front <u>83 ft</u>	Front		
Rear	Rear		
Side <u>165 ft</u>	Side		
Side <u>169 ft</u>	Side		

Parcel Details		
Lot Type ☒ Interior Lot ☐ Corner Lot	New Approach or Driveway Required? ☐ Yes – Submit Approach Application ☒ New Driveway, No New Approach ☐ No	New Municipal Address or Unit Number (ie. 2 nd Dwelling) Required ☒ Yes – Submit Municipal Address Application ☐ No

Services		
Water Supply: ☒ Cistern ☐ Water well ☐ Dugout ☐ Municipal/Co-op ☐ Other (specify): _____	Sewer System: ☒ New Private Septic ☐ Existing Private Septic ☐ Municipal ☐ Communal	Installation of Subgrade Works (Check all that apply): ☒ Electrical ☒ Gas ☒ Plumbing
☐ There are no services applicable to this development		



Form A: Development Permit Application

Pursuant to Land Use Bylaw No. 24-007

5. Exterior Finish, Fencing, and Landscaping

☐ Not applicable to this development

☐ Describe generally the types, colors, and materials, as applicable, of:

Exterior finishes of the proposed building(s): House is hardy board siding, color white

Proposed fencing and height: _____

Proposed landscaping: _____

Describe any proposed improvements to the exterior of the dwelling where application is for a previously occupied dwelling (moved-in or manufactured home): _____

6. Details of Vehicle Parking and Access (For Commercial/Industrial Proposals, submit Form A2)

Describe the number _____ and size _____ of all existing and proposed parking spaces _____, and driveways _____ on site (or N/A if not applicable).

(Indicate locations of same on a scaled SITE PLAN.)

7. Waiver Request(s)

Is a waiver (variance) to one or more standards in the Land Use Bylaw being requested? ☐ No ☒ Yes

If yes, please specify (setback, height, etc.): heights

8. Other – for parcels outside of Hamlet Districts (Please indicate to the best of your knowledge)

(a) Are any of the following within a 1-mile (1.6 km) of the proposed development?

- ☐ Provincial Highway ☐ Confined Feeding Operation ☐ Sour gas well or pipeline
☐ Sewage treatment plant ☐ Waste transfer station or landfill

(b) Is the proposed development to be situated within 500 metres (1,640 ft.) of an established anhydrous ammonia bulk storage facility? ☐ Yes ☐ No ☐ Don't Know

(c) Is the development located in proximity of a coulee bank/break/slope? ☐ Yes ☐ No

If "yes", please provide details on the building sites' setback distance from the front edge of the valley or coulee break (escarpment rim): _____

Estimated **Commencement** Date: _____

Estimated **Completion** Date: _____



Form A: Development Permit Application

Pursuant to Land Use Bylaw No. 24-007

9. Declaration of Applicant

I/We have read and understand the terms noted below and hereby apply for a development permit to carry out the development described within this application including any attached supplementary forms, plans, and documents. I/We hereby certify that the registered owner of the land is aware of, and in agreement with this application.

*Further I/We hereby give my/our consent to allow authorized persons the **right to enter** upon the subject land and/or building(s) for the purpose of an inspection with respect to this application only.*

1. The Development Authority may deem a development permit application incomplete if any of the application requirements are incomplete or the quality of the information is deemed inadequate to properly evaluate the application.
2. Site plans and building drawings, in sufficient detail to enable adequate consideration of the application, must be submitted with this application, together with a plan sufficient to identify the land. It is desirable that the plans and drawings should be on a scale appropriate to the development. However, unless otherwise stipulated, it is not necessary for plans and drawings to be professionally prepared.
3. Although the Development Officer is in a position to advise applicants of the process and requirements of the development application, such advice must not be taken as official consent, and is without prejudice to the decision in connection with the formal application.
4. Any development started before the issuance of a development permit and expiration of the appeal period is at the applicant's own risk.
5. **If a decision is not made within 40 days** from the date the application is deemed complete, or within such longer period as the applicant may approve in writing, **the applicant may deem the application to be refused** and the applicant may exercise his right of appeal as though he had been mailed a refusal at the end of the 40-day period.
6. A development permit does not constitute a building permit or approval from any provincial or federal department. Construction undertaken after approval of this development permit application may be regulated by the **Alberta Safety Codes**. The applicant/owner/developer assumes all responsibilities pertaining to construction plan submissions, approval and inspections as may be required by the appropriate provincial body. The applicant is responsible for determining and obtaining any other applicable provincial and federal approvals prior to commencement.

*FOIP STATEMENT: Personal information on this form is collected under the authority of section 33(c) of the Freedom of Information and Protection of Privacy (FOIP) Act. The information collected here will be used to by Lethbridge County for the purposes of reviewing the Development Permit application. **This form is a public record that is available to anyone.** All information contained on this form (including personal information) is disclosed by Lethbridge County to anyone requesting a copy in accordance with Lethbridge County Policy No. 173 (Freedom of Information and Protection of Privacy (FOIP)). For further information about the collection and use of this information please contact the Lethbridge County FOIP Coordinator at foip@lethcounty.ca or call (403) 328-5525 or come into the office #100, 905 4 Avenue South, Lethbridge Alberta, T1J 4E4.*

Date: Aug 25 2025

Applicant's Signature: _____

Registered Owner's Signature: _____
(Required, if different from applicant)

#100, 905 4 Avenue South
Lethbridge, Alberta T1J 4E4
P: 403 328 5525 Toll-free: 855 728 5602
E: development@lethcounty.ca

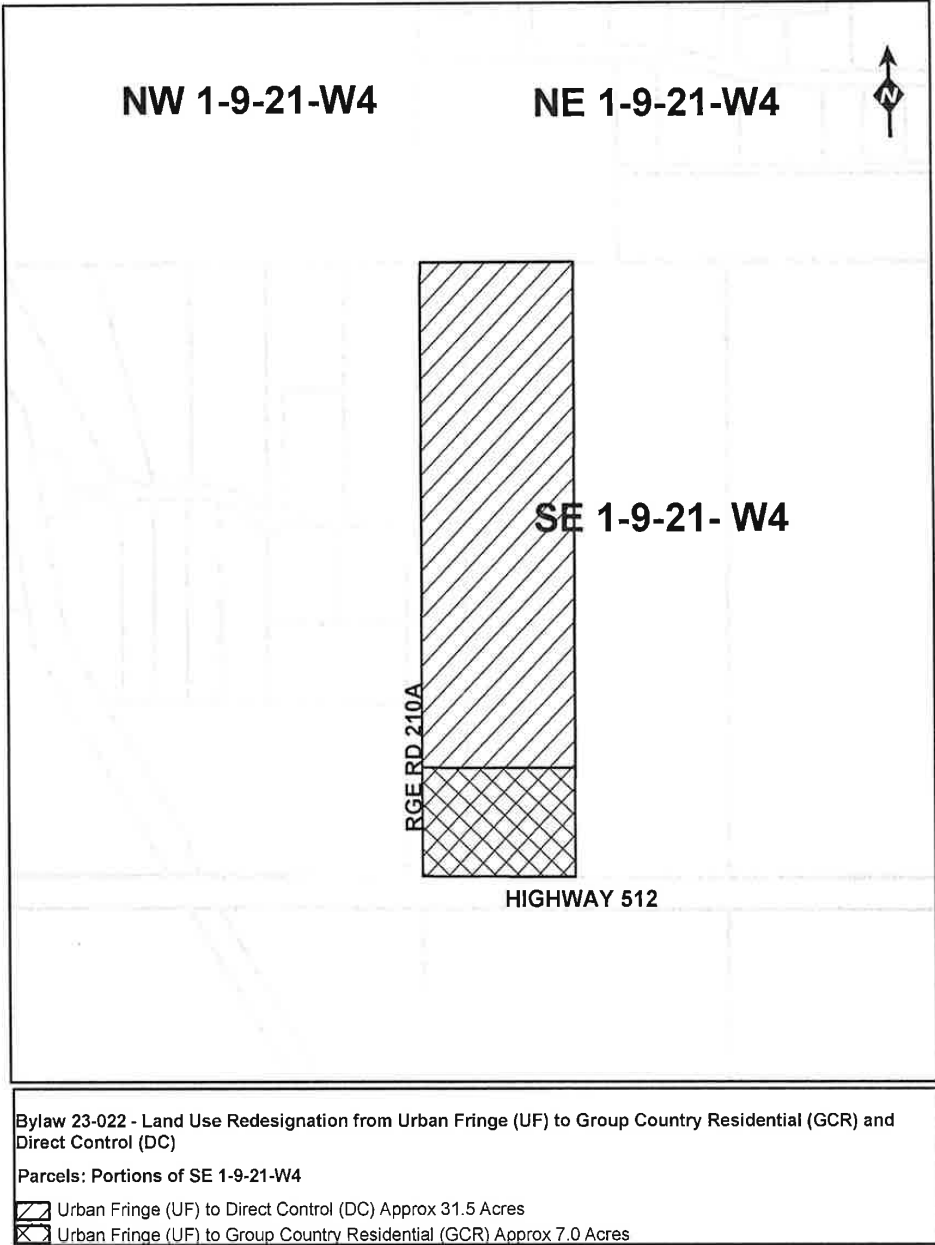
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**LETHBRIDGE COUNTY
IN THE PROVINCE OF ALBERTA**

BYLAW NO. 23-022

Bylaw 23-022 of Lethbridge County being a bylaw for the purpose of amending Land Use Bylaw 24-007, in accordance with Sections 230, 606 and 692 of the Municipal Government Act, R.S.A. 2000, Chapter M-26.

WHEREAS the purpose of Bylaw 23-022 is to re-designate that portion of SE 1-9-21-W4, as shown on the sketch below, from Urban Fringe (UF) to Direct Control (D.C.) and Grouped Country Residential (GCR);



AND WHEREAS the purpose of proposed Bylaw 23-022

is to establish the uses and regulations for a Direct Control district pertaining to the aforementioned land and are as described in Schedule "A" attached hereto;

AND WHEREAS policies in the Municipal Development Plan Bylaw No 22-001 refer to the Direct Control Designation being used by Council to regulate land use;

AND WHEREAS once an application has been submitted the municipality must prepare an amending bylaw and provide for its notification and consideration at a public hearing;

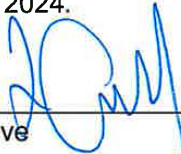
AND WHEREAS once an application has been submitted the municipality must prepare an amending bylaw and provide for its notification and consideration at a public hearing;

NOW THEREFORE, under the authority of the Municipal Government Act, R.S.A. 2000, C-26, as amended, the Council of Lethbridge County in the Province of Alberta duly assembled does hereby enact the following, with the bylaw only coming into effect upon three successful reading thereof;

NOW THEREFORE, under the authority of the Municipal Government Act, R.S.A. 2000, C-26, as amended, the Council of Lethbridge County in the Province of Alberta duly assembled does hereby enact the following:

- 1. The uses and regulations for the Direct Control District shall be as described in Schedule "A" attached hereto and be applied to the lands described above and identified on the above map.
- 2. Bylaw No 24-007 – The Land Use Bylaw of Lethbridge County is hereby amended.
- 3. The Bylaw shall come into effect upon third and final reading hereof.

GIVEN first reading this 20th day of June 2024.



Reeve



Chief Administrative Officer

GIVEN second reading this 1 day of August, 2024.



Reeve



Chief Administrative Officer

GIVEN third reading this 1 day of August, 2024.



Reeve



Chief Administrative Officer

1 st Reading	June 20, 2024
2 nd Reading	August 1, 2024
Public Hearing	July 18, 2024
3 rd Reading	August 1, 2024

SCHEDULE A

DIRECT CONTROL

1. PURPOSE

To provide a means whereby Council may regulate and control the use, development or subdivision, on a site-specific basis, the lands described on Figure 1.

To provide a clustered residential development with high quality large lots. The larger residential lots shall allow for larger accessory buildings and provide opportunities for more intense home occupations. No stand-alone businesses or use areas shall be permitted without a residence on the property. Careful site planning and more intense landscaping will be required to help buffer the on-site industrial/ commercial development and the proposed industrial/ commercial development to the east from the existing Grouped Country Residential development.

2. PERMITTED, DISCRETIONARY AND PROHIBITED USES

(1) Permitted Uses

Accessory Buildings, Structure and Uses to an Approved Permitted Use.

Day Homes

Dwellings:

- Single detached Site-built

- Single detached Manufactured Homes 1 (see Part 5 of Land Use Bylaw No. 24-007)

- Single detached Ready-to-move (see Part 5)

Secondary Suites (contained within a single detached dwelling (see Part 5 Land Use Bylaw No. 24-007)

Home Occupations 1, 2, and 3 (see Part 5 Land Use Bylaw No. 24-007)

Signs Type 1 (in accordance with Part 6 of Land Use Bylaw No. 24-007)

Solar Collectors, individual, for dwellings and accessory buildings (See Part 7 of Land Use Bylaw No. 24-007)

Bed and Breakfast (see Part 5 of Land Use Bylaw No. 24-007)

Day Care (see Part 5 of Land Use Bylaw No. 24-007)

Business Support Services

Offices, Public and Private

Professional Services

Technology Centres/ Hubs

Automotive Detail (see Part 5 of Land Use Bylaw No. 24-007)

Contractor Trade Shops

(2) Discretionary Uses

Agricultural Services

Signs Type 2 (in accordance with Part 6) of the Land Use Bylaw No. 24-007

Small Wind Energy Conversion Systems (see Part 7) of the Land Use Bylaw No. 24-007

Agricultural Markets

Alternative or Renewable Energy Facilities (see Part 7) of the Land Use Bylaw No.24-007

Automotive Repair and Service Shops (see Part 5) of the Land Use Bylaw No. 24-007

Building and Trade Contractor Services

Farm Service Product Sales

Industrial Processing and Manufacturing

Machinery and Equipment Sales, Rental and Service
Retail Uses Ancillary to Industrial or Warehousing Use
Veterinary Clinics, Small Animal
Warehousing and Indoor Storage
Wind Energy Conversion Systems (see Part 7) of the Land Use Bylaw No. 24-007
Secondary Suites (detached garage) (see Part 5) of the Land Use Bylaw No. 24-007

(3) Prohibited Uses

Any use which is not listed as either a Permitted or Discretionary Use or is not ruled to be similar to a Permitted or Discretionary Use in accordance with Part 1, Section 34, of the Land Use Bylaw is a prohibited use.

3. DEFINITIONS

All words and terms have the same meaning as what is specified in the Lethbridge County Land Use Bylaw.

4. SITE SUITABILITY

- The Subdivision Authority or Development Authority shall take into consideration, all applicable sections of Part 4 and 5 of the Land Use Bylaw No. 24-007, when making a decision on an application for subdivision or development in this land use district.
- The Subdivision Authority or Development Authority may place any or all of the following conditions, in addition to a development agreement, on subdivision or development permit approval to ensure any concerns over the suitability of the land and development are satisfied:
 - the provision of a professional geotechnical investigation/test and report to ensure the site is suitable in terms of topography, stability, soil characteristics, flooding subsidence, erosion and sanitary sewerage servicing;
 - require the developer to provided suitable access, so the site will be legally and physically accessible to a developed municipal road or if within 300 metres (984 ft.) of a provincial highway will meet the requirements of Alberta Transportation;
 - stipulate the alteration of proposed lot configurations, building sizes or locations to ensure any setback requirements of this land use bylaw or the Subdivision and Development Regulation can be met;
 - any reasonable measures to ensure any other requirements of this Land Use Bylaw are complied with;
 - any measures to adequately ensure applicable provincial legislation such as the *Safety Codes Act* is complied with or not compromised.
 - The Development Authority will provide direction as to which sections of the Bylaw are relevant and applicable to each particular lot.

5. LOT SIZE

- Lot sizes shall be as shown conceptually on FIGURE 1 and shall not be less than 6.0 acres.
- The residential portion of each lot shall be the front 75 meters of each lot or as shown in Figure 1

- The balance of each lot shall be used and referred to as the light industrial portion of each lot.

6. ACCESS

- All access shall be located as shown on FIGURE 1.
- The municipality may, at the time of subdivision or development, require the developer to enter into an agreement for the construction of any approach (es) necessary to serve the lot or development area in accordance with Lethbridge County Engineering Guidelines and Minimum Servicing Standards.
- To ensure proper emergency access, all developments shall have direct legal and developed physical access to a public roadway in accordance with Lethbridge County Engineering Guidelines and Minimum Servicing Standards. If the development is within 304.8 metres (¼ mile) of a provincial highway, direct legal and physical access to a public roadway shall be to the satisfaction of Alberta Transportation.
- A shared local service road or the construction of shared accesses/approaches may be required to be provided by the developer of multi-lot subdivisions in accordance with Lethbridge County Engineering Guidelines and Minimum Servicing Standards

7. SUBDIVISION

After the initial subdivision of a parcel, no further subdivision of any lot shall be allowed. Council, acting in the capacity of the Subdivision Authority, shall make decisions on any future subdivision applications with respect to this bylaw.

8. SERVICING REQUIREMENTS

- Every development shall be required to install a sewage disposal system and potable water system in accordance with Lethbridge County Engineering Guidelines and Minimum Servicing Standards or other system as approved by the municipality.
- The Development Authority may refuse a development, and the Subdivision Authority may refuse to approve a subdivision, if the parcel on which it is proposed is not large enough or does not have suitable soil characteristics to support a sewage disposal system to the standard required.
- The Development Authority may refuse a development, and the Subdivision Authority may refuse to approve a subdivision, if it cannot be demonstrated to the satisfaction of the approval authority that the parcel has access to a secure potable water source or system.
- Industrial or business uses that require or use a large volume of water may be denied a development permit if a secured source of water, relative to what is required for the development, is not verified, or cannot be guaranteed to the satisfaction of Lethbridge County. This may include, but is not limited to, car/ truck wash facilities, food or other various processing industries, and biofuel plants associated with ethanol production.

9. SITE GRADING AND DRAINAGE

- Development on both the residential and industrial portions of each lot must follow the grading and drainage requirements as set out in the Country Side Area Structure Plan and Figure 1 contained in this Direct Control District.
- No building or structure shall be located on any part of the lot that is identified as being used to store water or used to provide drainage.

- An engineered grading and drainage plan must be submitted for approval, by the Development Authority in conjunction with the building permit application. This plan must also be approved as required in the Architectural Controls.
- All finished lot grading shall be constructed and maintained to the satisfaction of Lethbridge County and shall be in accordance with the County's Engineering Guidelines and Minimum Servicing Standards.
- The applicant is responsible for ensuring adherence to the final grades.
- The applicant must supply evidence by an engineer, that the requirement of the approved grading plan have been met. This evidence must also be submitted for approval in accordance with the Architectural Controls.

10. MINIMUM YARD SETBACK REQUIREMENTS

- Side and rear setbacks yards
 - Side Yards setbacks for all uses shall be a minimum of 6.1 meters (20 ft) of a property line not fronting on or adjacent to a municipal roadway or as shown in FIGURE 1.
- Front Yards
 - Front yards setbacks shall be a minimum of 12 meters (39.4 ft) from the front property line adjacent or as shown in FIGURE 1.
- Special Setback Requirements
 - Setbacks for residential buildings and accessory buildings shall be in accordance with FIGURE 1 or as specified by the Development Authority.

11. BUILDING SIZE & SITING REQUIREMENTS

- Unless Specified elsewhere in this bylaw, the maximum percentage of the site that may be covered by buildings and structures shall be:
 - As determined by the Development Authority – no building, structure or driveway shall be located within the area or setbacks required or identified to treat private septic sewage;
 - Established in an adopted area structure plan design scheme.
 - In accordance with the Land Use Bylaw No. 24-007.
- No building, structure or driveway shall be located within the area required for drainage swales, drainage storage, sanitary sewer, septic fields, or any easements.
- Where a structure is attached to the principal building by a roof, an open or closed structure, a floor or foundation, it is to be considered a part of the principal building and is not an accessory building.
- The total combined area of all structures within each lot boundary shall be no greater than 10% of the lot gross area of that lot.
- The maximum total area of a residential dwelling and its accessory buildings in the residential portion of the lot shall be 12,000 sq ft. The maximum size of an accessory building in the residential portion of a lot shall be 3,000 sq ft. The maximum height of buildings in this portion of a lot is 25.0 ft.

- The maximum total area of all the buildings in the light industrial portion of a lot shall be 12,000 sq. ft. More than one accessory building is permitted in the light industrial portion of the lot, provided the maximum total area doesn't exceed 12,000 sq. ft. The maximum height for accessory buildings in the light industrial portion of a lot is 35 ft.
- Secondary suites in a detached garage will not be allowed unless firstly, there is an approved principal building.

12. ACCESSORY BUILDING

- An accessory building or structure on both the residential and industrial portion of the lot shall only be constructed in conjunction with an approved principal building or use and not be used as a permanent dwelling.
- An accessory building shall not be located in the required setback from a public road or on an easement.
- An accessory building in the residential portion of the lot, shall be setback a minimum 3.0 metres (10 ft.) from the principal dwelling and from all other structures on the same lot.
- Where a structure is attached to the principal building on a site by a roof, an open or enclosed structure, a floor or foundation, it is to be considered a part of the principal building and is not an accessory building.
- As a condition of a permit, if a development approval is required, the Development Authority may stipulate specific requirements for the type of foundation, fastening or tie-down system, finish, colour, roof pitch, and materials to be applied to the accessory building.
- The requirements of Land Use Bylaw No. 1404 shall be followed unless specified elsewhere in this Bylaw

13. GENERAL STANDARDS OF DEVELOPMENT

- At the discretion of Council or the Development Officer acting as the Development Authority having regards for the Land Use Bylaw.
- Standards detailed in Parts 4 and 5 of Bylaw No. 24-007 apply to all uses unless more detailed and restrictive standards are established under an adopted area structure plan or design scheme or Architectural Controls.

14. LANDSCAPING

- Landscaping is required, for the purpose of providing screening between the residential area of each lot and the remainder of the lot. This landscaping is also intended to provide a buffer for the adjacent grouped country residential development and any future light industrial use east of this development. Landscaping plans must be approved by the Architectural Control Consultant prior to any construction.
- The area between the road and the rear side of a residence and residential accessory building shall be irrigated and landscaped with lawn, trees and shrubs.
- All trees, shrubs, and lawn must be irrigated. Notwithstanding this, all landscaping must be completed within two years of the date a development permit is issued.
- All plant materials shall be planted in accordance with good horticultural practices.

- When trees are planted in a group, they shall be planted at the minimum spacing recommended between each particular species of trees.
- The minimum calliper for deciduous trees shall be 50mm. Coniferous trees shall be a minimum 2.0 meters in height.

15. ARCHITECTURAL CONTROLS

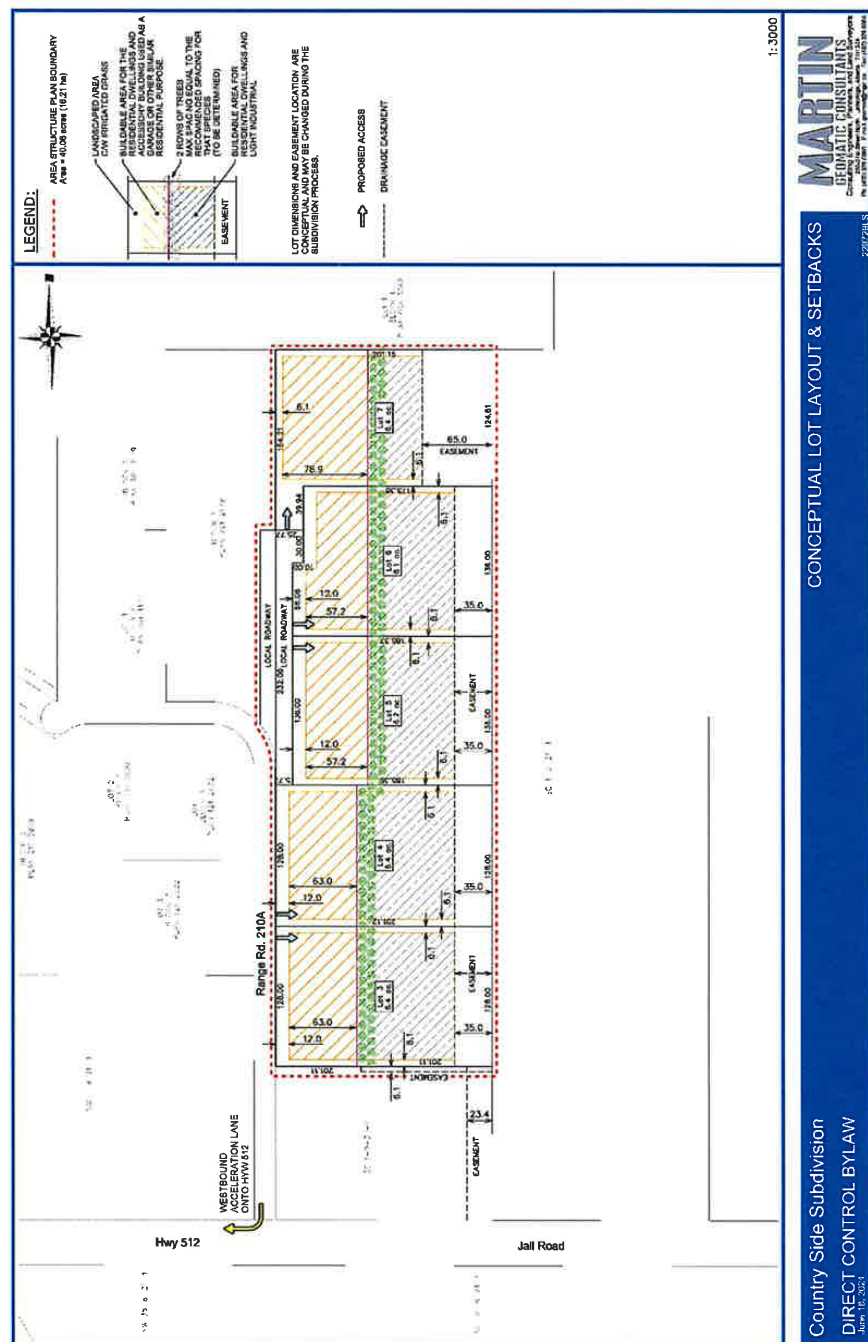
All development must comply with any approved architectural controls. Proof of compliance to the applicable architectural controls is required at the time of submission of a development permit application and upon final grading approval. Copies of these approvals must be submitted to the Development Authority.

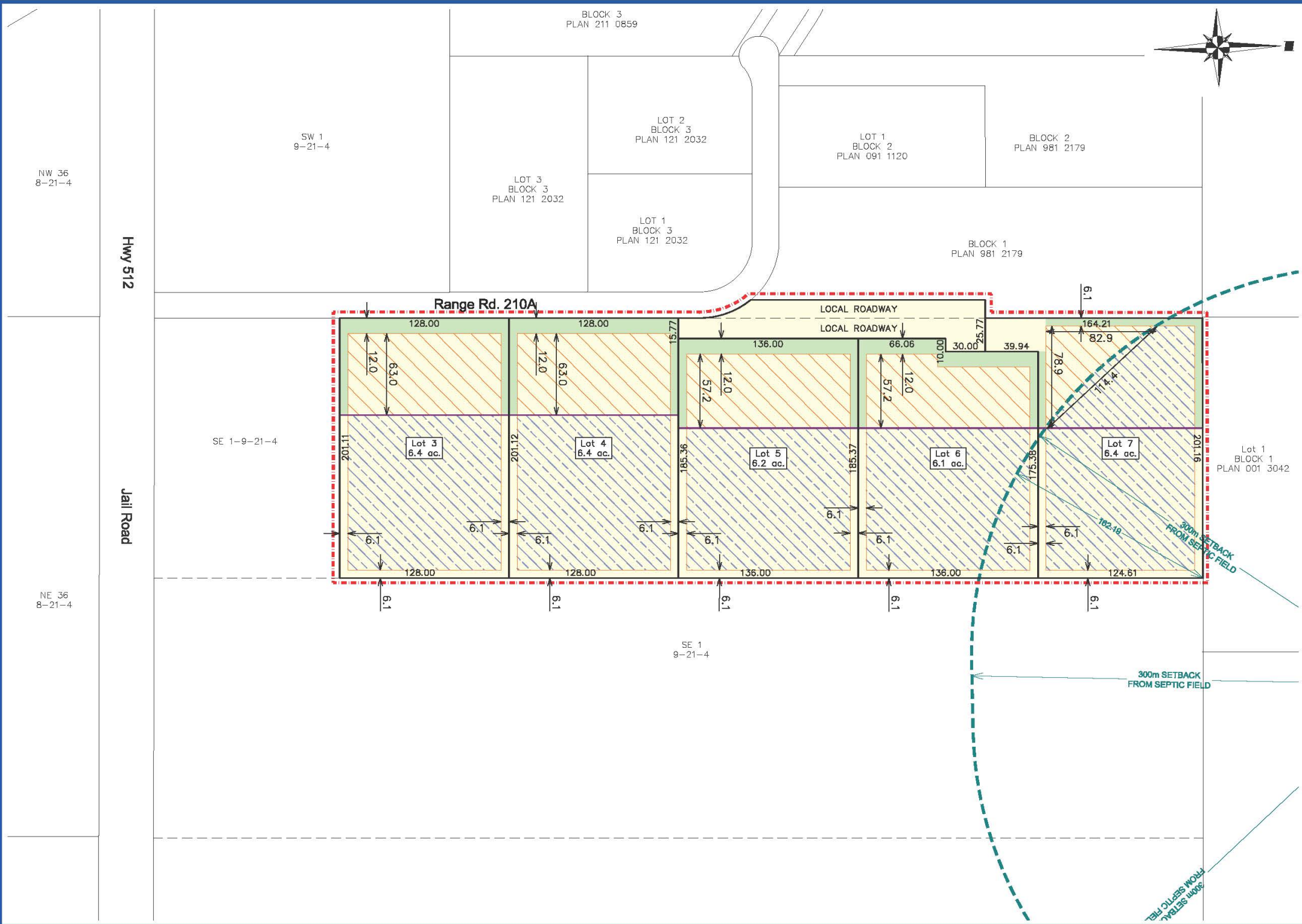
16. ADMINISTRATIVE PROCEDURES

- Delegation of Authority
 - Council shall be the Development Authority to decide on Development Permit Applications and for application waivers of development standards. Council may also decide on Development Permit Applications for permitted and discretionary uses.
 - The Development Officer, in accordance with Section 9 of the Land Use Bylaw No. 1404, and pursuant to Section 641 (3) of the Municipal Government Act, may, with the direction of Council, act as the Development Authority and receive and decide upon Development Permit Application for permitted and discretionary uses, provided they confirm to the standards of the Bylaw.
- Approval Procedure
 - Where the Development Officer, as the Development Authority has been delegated, the Authority to decide upon Development Permit Applications, for permitted and discretionary uses and has done so, then immediately upon issuance of the Development Permit, the Development Officer shall cause a notice to be published in a newspaper circulating in the area stating the location of the property for which the Application has been made and the Use approved.
 - Before consideration of a Permit Application for Developing requiring waivers on the subjected property, Council shall;
 - Cause a notice to be issued by the designated officer to any person likely to be affected.
 - Ensure that the notice contains the date and time that Council will hear the application for waivers of development standards.
 - Hear any persons that claims to be affected by the decision on the Application.
 - Council may then approve the Development Permit Application with or without conditions or refuse the Application with reasons.
 - Where Council made the decision on a Development Permit Application, the Development Officer acting on behalf of Council, shall cause a notice of the decision to be issued to the applicant and post a copy of the decision in the lobby of the County Office.
 - When applicable, Council should seek comments from other agencies such as the Regional Health Authority, Alberta Transportation, or any applicable Provincial Government department.

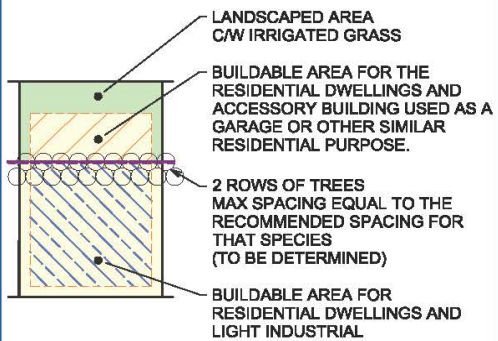
- Appeal Procedure
 - Pursuant to Section 685(4)(a) of the Municipal Government Act, if a decision with respect to a Development Permit Application is made by Council, there is no appeal to the Subdivision and Development Appeal Board.
 - Pursuant to Section 685(4)(a) of the Municipal Government Act, if the Development Officer has been delegated, the Authority to decide upon Development Permit Applications as the Development Authority, then the appeal to the Subdivision Appeal Board is limited to whether the Development Officer followed the directions of Council.

Figure 1





LEGEND:



LOT DIMENSIONS ARE CONCEPTUAL AND MAY BE
CHANGED DURING THE SUBDIVISION PROCESS.

Area = 33.09 acres (13.39 ha)

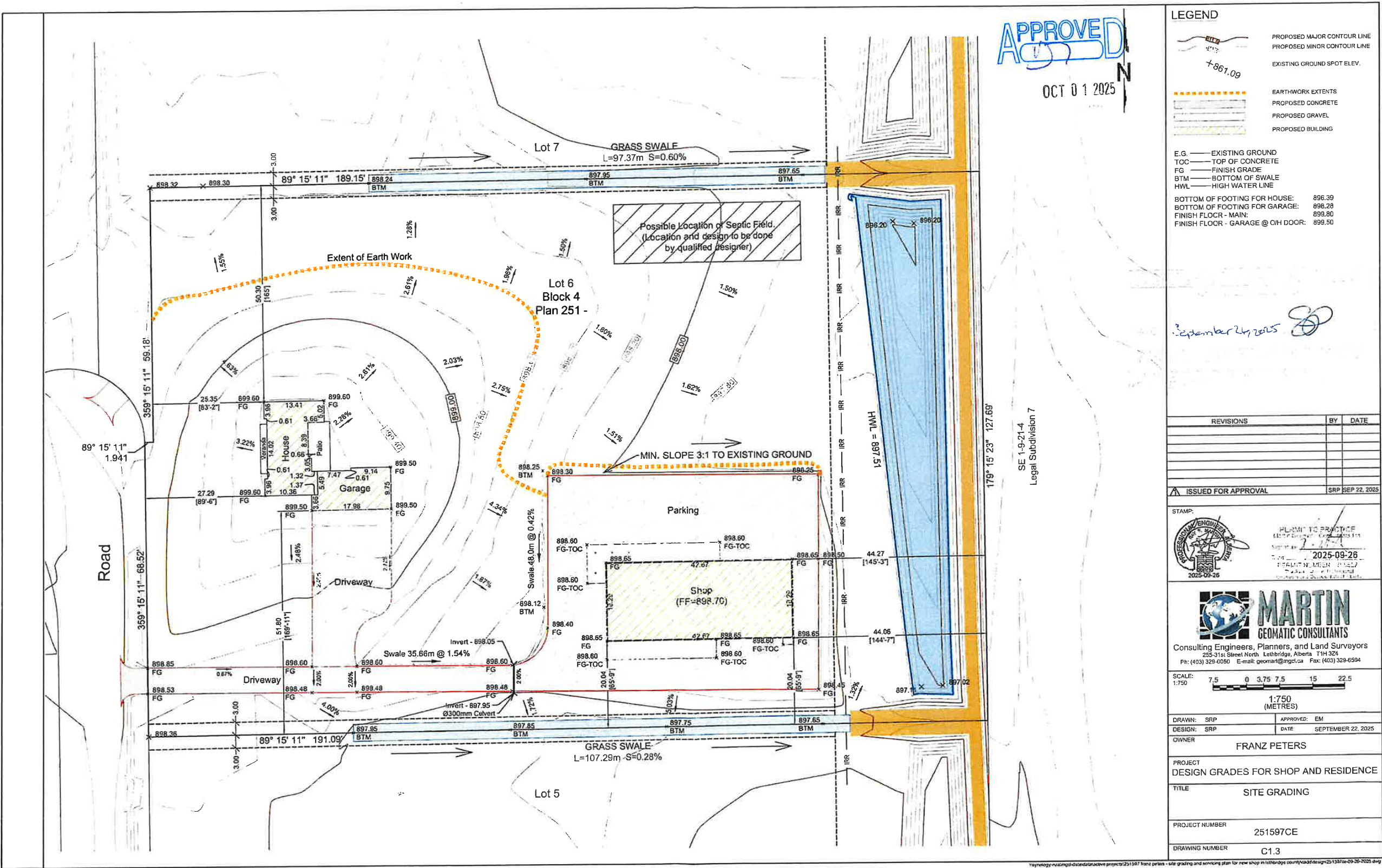
Country Side Subdivision
DIRECT CONTROL BYLAW

LOT LAYOUT & SETBACKS
FIGURE 1

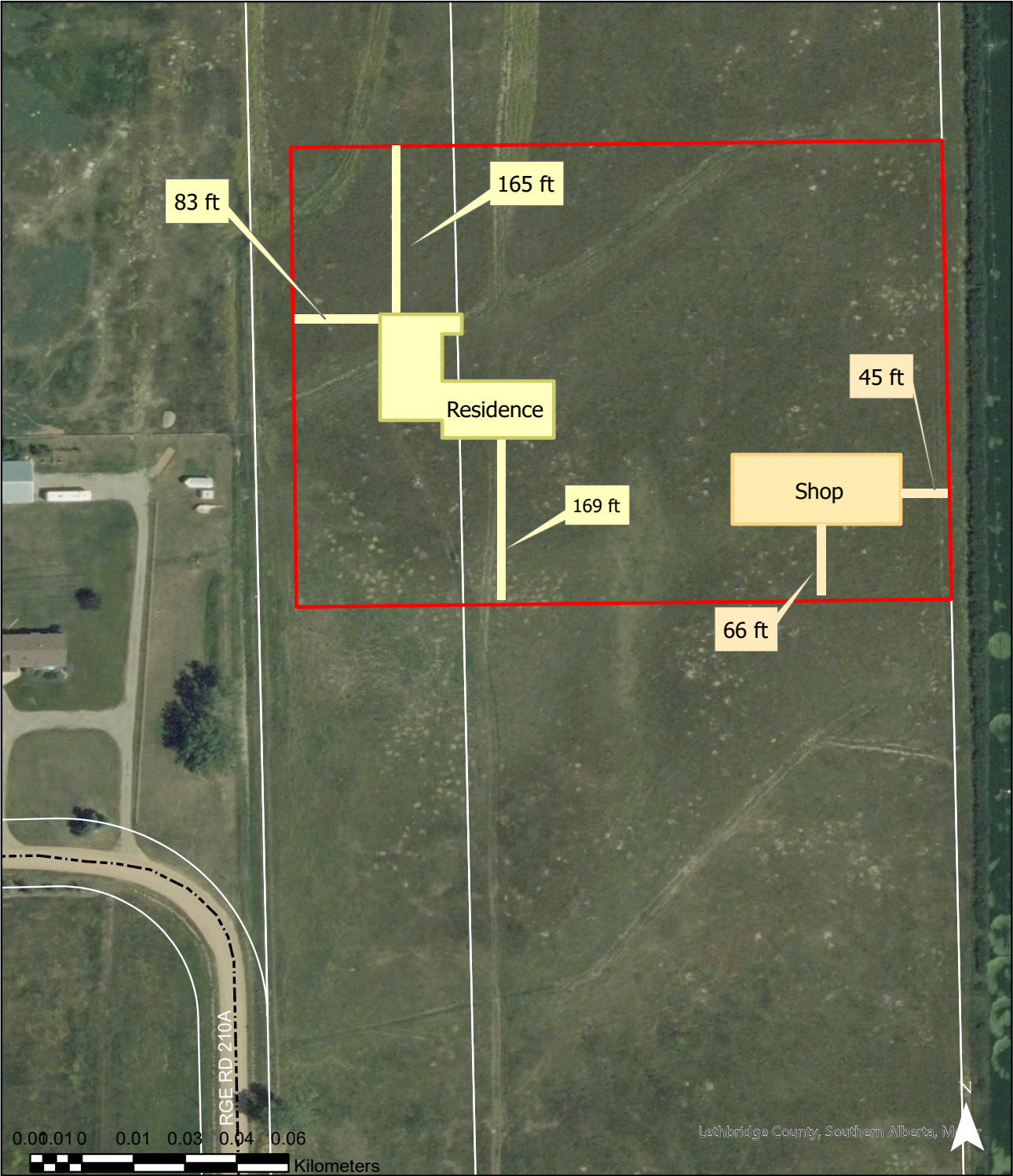
MARTIN
GEOMATIC CONSULTANTS

Consulting Engineers, Planners, and Land Surveyors
255-31st Street North Lethbridge, Alberta T1H 3Z4
Ph: (403) 329-0050 E-mail: geomatic@mgcl.ca Fax: (403) 329-6594

229729LS



2025-183



Proposed Lot 6 Block 4

Country Side Subdivision - Lethbridge County

Plan Review Form

Submit 3 copies of constr. drawings (including access. bldgs) and 3 copies of stamped plot plan.

Applicant:

Name Franz Peters

Phone 403 892 0845

Location: Lot 6 Block 4 Address _____

Residential dwelling

House Type Bungalow

Setbacks:

Front yard 83' Side Yards 169' Rear yard _____

Size: Basement 2552

Main Floor (sf) 2622 2nd Floor Bonus Room 617 Total sf _____

Garage:

Attached ☒ Detached _____

Roof Material:

Cedar shakes _____ Pine shakes _____ Clay tile _____ Asphalt shingles ☒ Conc. Tile _____

Color Black

Flue location _____ Boxed _____ Exposed Flue _____

Exterior finish:

Stucco _____ Stone ☒ Brick _____ Wood _____ Metal _____

Vinyl siding _____ Fiber cement siding ☒

Color White Siding

Trim Color White

Gross - Total area for residential bldg 4406 SF + Total area for accessory bldg. 8400 SF

Total area of residential and accessory building 2622 SF 12 806 SF

Height of building 27'-8 5/16"

Light Industrial

Number of Accessory Buildings 1

Setbacks:

Front yard _____ Side Yards 68' Rear yard 144'

Size:

Main Floor (sf) 8400 2nd Floor 1500 Total sf 9900sf.

Roof Material:

Metal Roof
Cedar shakes _____ Pine shakes _____ Clay tile _____ Asphalt shingles _____ Conc. Tile _____

Color Black

Flue location — Boxed — Exposed Flue —

Exterior finish:

Stucco _____ Stone _____ Brick _____ Wood _____ Metal ✓ 29 GA

Vinyl siding _____ Fiber cement siding _____

Color Black corner trim Trim

Color Wall White 29 GA

Total area of accessory building(s) 8400 sf

Height of building 25'-5" 26'-0"

Landscaping

Driveway finish Concrete - (minimum 30'-0" DEEP)

Frontyard tree ✓ Frontyard sod ✓ Tree belt ✓

NOTE: AS APPROVED BY ARCHITECTURAL CONTROLS.

Fencing Materials —

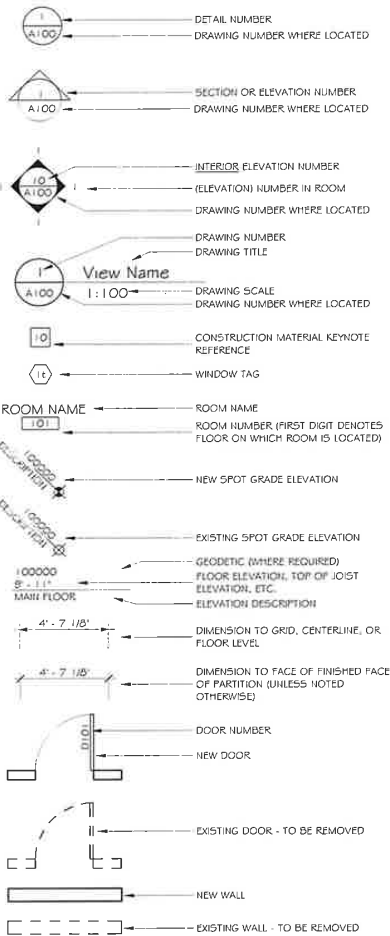
Comments: FENCING - WOOD FENCE
ROAD TO DRIVEWAY - GRAVEL
SEE NOTES ON SITE PLAN.

Plan Review Firm: Carle Palm Date: Sept. 18/25.

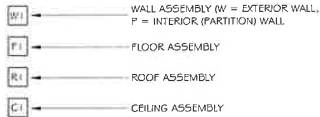
GENERAL NOTES:

1. THE FOLLOWING NOTES APPLY TO ALL CONSTRUCTION DOCUMENTS.
2. GENERAL CONTRACTOR (GC) TO BE COVERED UNDER THE NEW HOME WARRANTY PROGRAM.
3. GC TO COVER FULL BUILDERS RISK COVERAGE IN BOTH THE GC'S AND THE CLIENTS NAMES.
4. GC TO PROVIDE SAMPLES FOR ANY PRODUCTS THAT ARE SUBSTITUTED FOR THOSE SPECIFIED IN THE GENERAL SCOPE OF WORK AND/OR SHOWN ON THE CONSTRUCTION DOCUMENTS.
5. GC AND ALL SUBCONTRACTORS (SC) ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT MUST COMPLY WITH ALL MUNICIPAL BYLAWS AND ALL APPLICABLE BUILDING CODES, SPECIFICALLY THE BRITISH COLUMBIA BUILDING CODE 2024 AND ALL ITS UPDATED SECTIONS.
6. GC/BUILDER IS RESPONSIBLE FOR MAINTAINING A CLEAN AND SAFE SITE FREE OF DEBRIS AT ALL TIMES, ALL DEBRIS TO BE REMOVED BY GC/BUILDER.
7. CONTRACTORS TO VISIT SITE, VERIFY AND FAMILIARIZE THEMSELVES WITH EXISTING SITE CONDITIONS DURING TENDER PROCESS.
8. GC OF ANY OF HIGHER SUBTRADES IS REQUESTED TO REPORT ANY DISCREPANCIES IN INFORMATION PROVIDED BY THESE CONSTRUCTION DOCUMENTS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
9. CONTRACTOR SHALL ONLY MAKE CHANGES TO THE DESIGN OR MATERIALS SPECIFIED UPON WRITTEN APPROVAL FROM THE ARCHITECT AND/OR OWNERS CONSULTANT.
10. SUBCONTRACTORS SHALL PROTECT ALL WORK AND MATERIALS OF OTHER TRADES WHILE PERFORMING WORK.
11. ALL WORK SHALL BE DONE THE HIGHEST POSSIBLE STANDARDS.
12. ANY DAMAGED TO THE BUILDING OR PREMISES CAUSED BY THE CONTRACTOR OR HIS/HER EMPLOYEE(S) OR SC'S SHALL BE REPAIRED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE.
13. CONTRACTOR TO RETAIN ALL LEFTOVER FINISHES AND TURN THEM OVER THE OWNER AT THE COMPLETION OF THE PROJECT (IE, PAINT, CARPET, WALL COVERINGS, ETC.)
14. CONTRACTOR NOT TO COMMENCE WORK UNTIL RECEIPT OF BUILDING PERMIT TO ENSURE TOTAL COMPLIANCE WITH ALL APPLICABLE CODES.
15. ALL SURFACES AFFECTED BY CONSTRUCTION MUST BE MADE GOOD.
16. ALL MATERIALS TO BE DELIVERED AND STORED IN ORIGINAL PACKAGING IN A DRY PROTECTED AREA AND AS PER MANUFACTURERS INSTRUCTIONS. DELIVERY AND STORAGE MATERIAL TO BE COORDINATED WITH THE CLIENTS, IF REQUIRED.
17. ALL MATERIALS TO BE ORDERED WHEN THE CONSTRUCTION CONTRACT IS AWARDED, AT THIS TIME, THE CONTRACTOR IS TO CONFIRM THAT ALL DELIVERIES WILL MEET CONSTRUCTION SCHEDULE.
18. ENGINEER DESIGN AND SPECIFICATIONS TAKE PRECEDENT OVER SPECIFICATIONS AND DESIGN CONTAINED IN THESE ARCHITECTURAL DRAWINGS.
19. ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS WRITTEN INSTRUCTIONS.

DRAWING REFERENCE SYMBOLS



CONSTRUCTION ASSEMBLY SYMBOLS



WALL NOTES:

1. CONTRACTOR SHALL SUPPLY AND INSTALL ADDITIONAL BLOCKING TO PROVIDE SUITABLE SUPPORT AND FASTENING FOR WALL-MOUNTED CABINETS, COUNTERTOPS, CLOSET SHELVING, FURNITURE ETC., AS INDICATED ON DRAWINGS.
2. IN AREA SUBJECT TO WATER DAMAGE AND/OR WALLS WHICH ARE TO RECEIVE TILE, SUBSTITUTE GYPSUM BOARD WITH 1/2" CEMENT BOARD.
3. FOR DETERMINATION OF EXTERIOR BRICK TYPES REFER TO ELEVATIONS AND DETAILS.
4. EXTERIOR BRICK JOINTS SHALL BE CONCAVE TOOLED JOINTS.
5. REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS OF STRUCTURAL STEEL COMPONENTS (COLUMNS ETC.) BUILT INTO MASONRY WALLS.
6. ALL EXTERIOR WALLS TO EXTEND TO 1/5 OF FLOOR OR TRUSS UNLESS NOTED OTHERWISE.
7. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE-TREATED.
8. 6 MIL POLY VAPOUR BARRIER TO CONFORM TO BUILDING CODE AND BE CSA-APPROVED.
9. ALL HOLES IN VAPOUR BARRIER FOR PIPING, ELECTRICAL, MECHANICAL PENETRATIONS ETC. ARE TO BE SEALED WITH CAULKING, TAPE OR BY OTHER APPROVED METHODS.
10. WRAP ALL WINDOW SILL/JAMBS WITH SELF-ADHERING FLEXIBLE WATERPROOF MEMBRANE, PROVIDE 4" OVERLAP INSIDE AND OUTSIDE OF FRAMING.
11. INSULATE ALL ABOVE-GRADE EXTERIOR WALLS TO A MINIMUM R24 LEVEL.

INTERIOR PARTITION NOTES:

1. ALL INTERIOR PARTITIONS SHALL BE FULL HEIGHT FROM FLOOR TO 1/5 OF FLOOR OR TRUSS UNLESS NOTED OTHERWISE.
2. ALL WALL FIRE SEPARATIONS ARE CONTINUOUS FROM FLOOR TO UNDERSIDE OF FLOORS ABOVE OR TO UNDERSIDE OF ROOF DECK, FIRE STOP AT TOP OF WALL.
3. FOR LOCATIONS OF FIRE RATED PARTITIONS, REFER TO FLOOR PLANS.
4. FIRESTOP AND SMOKE SEAL THE CONNECTION OF ALL FIRE RATED WALLS WHERE IT IS CONNECTED TO THE 1/5 OF DECK AND AT DUCT/PIPE PENETRATIONS.
5. FIRESTOP AND SMOKE SEAL ALL RATED WALL ASSEMBLIES AT STRUCTURAL AND MECHANICAL PENETRATIONS.
6. ALL FIRE STOP METHODS, MATERIALS, SYSTEMS, TESTING DATA ETC. THAT WILL BE USED TO ADDRESS VARIOUS FIRESTOPPING CONDITIONS SHALL BE SUBMITTED TO THE SATISFACTION OF THE AUTHORITIES HAVING JURISDICTION AND ARCHITECT.
7. PROVIDE 19MM FIRE RATED PLYWOOD PANELS AT BACKSIDE OF ELECTRICAL PANELS.

FLOOR NOTES:

1. PROVIDE CROSS BRACING TO ALL JOINTS AT A MAX. SPACING OF 6'-0".
2. PROVIDE SOLID BLOCKING IN FLOOR SPACE BENEATH ALL POSTS TO PROVIDE CONTINUOUS SUPPORT TO APPROVED BEARING POINTS.
3. PROVIDE JOINT-HANGERS AT ALL JOISTS FRAMING INTO SIDES OF WOOD BEAM, TRIMERS, HEADERS, AND OTHER STRUCTURAL INTERSECTIONS AS SPECIFIED BY FLOOR SYSTEM ENGINEERING DRAWINGS.
4. DOUBLE ALL FLOOR JOISTS UNDER PARTITIONS WHICH RUN PARALLEL TO FLOOR JOISTS.
5. CONTRACTOR TO PROTECT ALL FINISHED FLOOR AREAS WITH 6 MIL POLYPROPYLENE OR CARDBOARD.
6. THE GENERAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL FLOORING FINISHES AS PER MANUFACTURERS SPEC.
7. ALL FLOORING MATERIALS TO BE INSTALLED PRIOR TO INSTALLATION OF BASEBOARDS.
8. ENSURE SUBFLOOR IS CLEAN AND GOOD PRIOR TO INSTALLING FINISH.
9. ENSURE FLUSH FINISH WITH ALL FLOORING.
10. CONTRACTOR TO SUBMIT MANUFACTURERS ENGINEERED FLOOR JOIST DRAWINGS TO CITY INSPECTOR.

ROOF NOTES:

1. PROVIDE A MINIMUM OF 2-1/2" AIRSPACE BETWEEN THE UNDERSIDE OF THE ROOF SHEATHING AND THE TOP OF THE INSULATION ALONG THE FULL LENGTH OF THE TRUSSES.
2. PROVIDE ROOF VENTS TO ACHIEVE 1 SQ.FT. OF VENTILATION FOR EVERY 150 SQ.FT. OF ROOF AREA.
3. PROVIDE ICEWATERSHIELD TO A MINIMUM 6'-0" HORIZONTALLY PAST INSIDE SURFACE OF EXTERIOR WALLS.
4. PROVIDE SELF-ADHERING FLEXIBLE WATERPROOFING MEMBRANE AT ALL WALL-ROOF, ROOF-ROOF JUNCTIONS.
5. PROVIDE METAL FLASHING AT ALL WALL-ROOF, ROOF-ROOF JUNCTIONS.
6. PROVIDE MEMBRANE-TYPE GASKETS AT ALL ROOF PENETRATIONS.
7. INSULATE ALL ROOFS TO A MINIMUM R40 LEVEL.
8. ROOF TRUSSES TO BE PRE-FABRICATED AND PRE-ENGINEERED. CONTRACTOR TO SUBMIT PRE-ENGINEERED TRUSS DRAWINGS TO CITY INSPECTOR.

WALL ASSEMBLIES

- W1 8" CONCRETE w/ REBAR AS PER ENGINEERS SPECIFICATIONS
- W1a ACRYLIC PARGING ABOVE GRADE TO 6" BELOW GRADE
DRAINAGE MAT
WATERPROOFING MEMBRANE
8" CONCRETE w/ REBAR AS PER ENGINEERS SPECIFICATIONS
- W4 1" STONE VENEER
SHEATHING MEMBRANE
1/2" PLYWOOD SHEATHING
2x6 SFF STUDS @ 16" o.c.
BATT INSULATION (R24)
6MIL POLY AIRVAPOUR BARRIER
1/2" GYPSUM BOARD
- W5 BOARD & BATTEN CEMENT BOARD SIDING
SHEATHING MEMBRANE
1/2" OSB SHEATHING
2x6 SFF STUDS @ 16" o.c.
BATT INSULATION (R24)
6MIL POLY AIRVAPOUR BARRIER
1/2" GYPSUM BOARD

PARTITION ASSEMBLIES

- P1 1/2" GYPSUM BOARD
2x4 SFF STUD @ 16" o.c.
1/2" GYPSUM BOARD
- P2 1/2" GYPSUM BOARD
2x6 SFF STUD @ 16" o.c.
1/2" GYPSUM BOARD
- P2a 1/2" GYPSUM BOARD
2x6 SFF STUD @ 16" o.c.
- P3 1/2" GYPSUM BOARD
2x6 SFF STUD @ 16" o.c.
BATT INSULATION (R24)
6 MIL POLY VAPOUR BARRIER
1/2" GYPSUM BOARD
- P4 1/2" GYPSUM BOARD
6 MIL POLY VAPOUR BARRIER
2x4 SFF STUDS @ 16" o.c.
BATT INSULATION (R12 MIN.)
1" RIGID INSULATION (R5 MIN.)

FLOOR ASSEMBLIES

- F1 4" CONCRETE SLAB (25MPa) c/w #10M REBAR REINFORCING @ 24" o.c. EACH WAY
3 1/2" RIGID INSULATION
6 MIL POLY VAPOUR BARRIER
6" COMPACTED 3/4" CRUSHED GRAVEL
GEOTECHNICAL PAD
- F1a CONCRETE SEALANT (3 COATS)
4" CONCRETE SLAB (25MPa) c/w #10M REBAR REINFORCING @ 16" o.c. EACH WAY
3 1/2" RIGID INSULATION
6 MIL POLY VAPOUR BARRIER
6" COMPACTED 3/4" CRUSHED GRAVEL
UNDISTURBED SOIL SUBGRADE
- F2 FINISH AS PER SPECIFIED
3/4" TONGUE & GROOVE OSB SHEATHING GLUED & SCREWED
16" OPEN WEB FLOOR JOISTS AS PER MANUFACTURERS SPECIFICATION
1/2" GYPSUM BOARD CEILING
- F2a FINISH AS PER SPECIFIED
3/4" TONGUE & GROOVE OSB SHEATHING GLUED & SCREWED
16" OPEN WEB FLOOR JOISTS AS PER MANUFACTURERS SPECIFICATION
BLOWN-IN CELLULOSE INSULATION TO FILL CAVITY (R36 MIN.)
SMART AIRVAPOUR BARRIER
1/2" GYPSUM BOARD CEILING

ROOF ASSEMBLIES

- R2 ASPHALT SHINGLES
PEEL & STICK ROOF UNDERLAYMENT
5/8" OSB SHEATHING
ROOF TRUSSES AS PER MANUFACTURERS SPECIFICATION
2 1/2" CONTINUOUS VENT BATTLE
BLOWN-IN CELLULOSE INSULATION (R60)
6 MIL POLY AIRVAPOUR BARRIER
1/2" GYPSUM BOARD CEILING
- R2a STANDING SEAM METAL ROOF
HIGH TEMPERATURE PEEL & STICK ROOF UNDERLAYMENT
5/8" OSB SHEATHING
ROOF TRUSSES AS PER MANUFACTURERS SPECIFICATION
2 1/2" CONTINUOUS VENT BATTLE
BLOWN-IN CELLULOSE INSULATION (R60)
6 MIL POLY AIRVAPOUR BARRIER
1/2" GYPSUM BOARD CEILING
- R4 ASPHALT SHINGLE ROOF
HIGH TEMPERATURE PEEL & STICK ROOF UNDERLAYMENT
5/8" OSB SHEATHING
2x6 LOOKOUT RAFTERS @ 16" o.c.
3/4" VENTED 1x6 WOOD SOFFIT



DISCLAIMER
1. ALL DRAWINGS REMAIN THE PROPERTY OF THE ARCHITECT.
2. THIS DESIGN AND/OR DRAWING MAY NOT BE REPRODUCED WITHOUT THE PERMISSION OF THE ARCHITECT.
3. ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED.
4. DO NOT SCALE DRAWINGS.

PRELIMINARY
NOT FOR CONSTRUCTION

DESIGN REVIEW 25-08-22

No. DESCRIPTION DATE

PROJECT 25-002

PETERS RESIDENCE

COALDALE, AB

LEGAL ADDRESS

Drawn By Date (YY-MM-DD)

J5 25-07-23

urbanSTIX ARCHITECTURE INC.

3186 Anderson Rd 250.423.8800
Fermie, BC V0B 1M5 www.urbanstix.ca

DRAWING TITLE

REFERENCE SHEET &

GENERAL NOTES

Development Permit

Building Permit

SHEET

AO.0

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DOOR SCHEDULE												
No.	LOCATION	NOMINAL SIZE		TYPE	DOOR			FRAME			HARDWARE	REMARKS
		WIDTH	HEIGHT		MATERIAL	CORE	FINISH	TYPE	MATERIAL	FINISH		
D001	COLD STORAGE	2'-0"	6'-8"	11	FG	INS	PT	D			PASSAGE	
D002	BEDROOM #2, 3, 4 & 5	2'-0"	6'-8"	3				D			PASSAGE	
D003	WIC & MECH.	2'-6"	6'-8"	3				D			PASSAGE	
D004	BATH #4	2'-6"	6'-8"	3				D			PRIVACY	
D005	WIC	4'-0"	5'-0"	10				D			DUMMY	
D006	BATH #3	2'-6"	6'-8"	4				E			LATCH	
D007	GYM	3'-0"	6'-8"	3				D			PASSAGE	
D100	GARAGE	10'-0"	8'-0"	1		INS	SPEC	B				
D102	ENTRY	3'-6"	8'-0"	2				A			ENTRY	
D103	GARAGE	3'-0"	6'-8"	11	FG	INS	PT	A			DEADBOLT	SELF CLOSING w/ WEATHERSTRIPPING
D104	GARAGE TO HOUSE	3'-0"	6'-8"	11	FG	INS	PT	C			DEADBOLT	
D105	DINING	9'-0"	8'-0"	9				A			LATCH	
D106	SEWING ROOM, MASTER BEDROOM, LAUNDRY, ENTRY & OFFICE	2'-0"	8'-0"	3				D			PASSAGE	
D107	BATH #2	2'-6"	8'-0"	3				D			PRIVACY	
D108	ENSUITE & OFFICE	2'-6"	8'-0"	3				D			PASSAGE	
D109	PANTRY	2'-6"	8'-0"	4				E			FULL	
D110	POWDER	2'-6"	8'-0"	4				E			LATCH	
D111	MUDROOM	3'-0"	6'-8"	3				D			PASSAGE	
D112	POWDER	2'-6"	6'-8"	11	FG	INS	PT	D			PRIVACY	SELF CLOSING w/ WEATHERSTRIPPING
D113	GARAGE	6'-0"	5'-0"	1		VG	SPEC	B				
D114	SEWING ROOM	5'-0"	8'-0"	6				D			FULL	

DOOR NOTES:

- CONTRACTOR TO REFER TO SCHEDULES AND ELEVATIONS FOR DOOR FRAME, GLAZING AND HARDWARE INFORMATION.
- CONTRACTOR TO COORDINATE ALL KEYING REQUIREMENTS WITH CLIENT.
- CONTRACTOR TO COORDINATE INSTALLATION OF ANY SECURITY SYSTEMS REQUIRED BY CLIENT.
- DOORS AND WINDOWS SHALL COMPLY WITH THE REQUIREMENTS OF RESISTANCE TO FORCED ENTRY AS PER CAN A44-M.

ABBREVIATIONS

- AL ALUMINUM CLAD
- FG FIBERGLASS
- FM FLUSH & MOLDED WOOD
- HC HOLLOW CORE
- HMA HOLLOW METAL
- IM INSULATED METAL
- MDF MDF
- PT PAINT
- ST STAIN
- VG VISION GLASS
- WD WOOD

DOOR HARDWARE

PASSAGE DOOR
STANDARD LEVER STYLE PASSAGE SET
MATTE BLACK (PRICING ONLY)
STANDARD DUTY 3 PAIR HINGES
DOOR STOP

PATIO DOOR
HANDLESET BY MANUFACTURER
MATTE BLACK (PRICING ONLY)
LOCK SET AND DEAD BOLT
MANUFACTURER'S CENTRE HINGES
WEATHER-STRIPPING & THRESHOLD

FULL
ROUND FINGER PULL
MATTE BLACK (PRICING ONLY)

LATCH
ROUND POCKET DOOR LATCH w/ PRIVACY LATCH
MATTE BLACK (PRICING ONLY)

PRIVACY DOOR
STANDARD LEVER STYLE PRIVACY SET
MATTE BLACK (PRICING ONLY)
STANDARD DUTY 3 PAIR HINGES
DOOR STOP

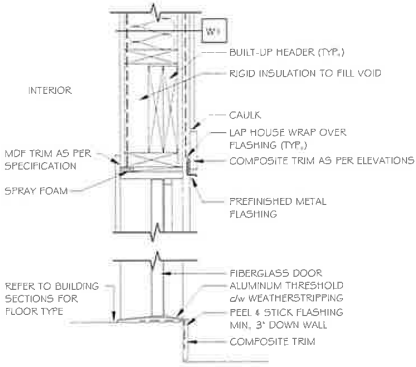
ENTRY DOOR
STANDARD ENTRY SET
KEYLESS ENTRY DEADBOLT
MATTE BLACK (PRICING ONLY)
STANDARD DUTY 3 PAIR HINGES
WEATHER-STRIPPING & THRESHOLD

DEADBOLT
STANDARD LEVER STYLE PASSAGE SET
DEADBOLT
MATTE BLACK (PRICING ONLY)

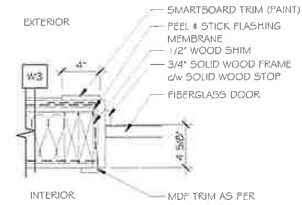
STANDARD DUTY 3 PAIR HINGES
WEATHER-STRIPPING & THRESHOLD

DOOR ROUGH-IN NOTES:

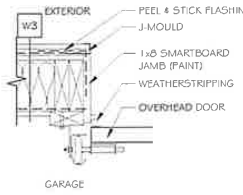
- EXTERIOR DOOR ROUGH-IN PER MANUFACTURER'S SPECIFICATION
- INTERIOR SWING DOOR R.O. = width + 2", height + 2.5"
- BIFOLD DOOR R.O. = width + 2", height + 1.5"
- SLIDING BYPASS DOOR R.O. = width of door x2 + 1", height + 4.5"
- POCKET DOOR R.O. = width of door x2 + 1", height + 4.5"
- BARN DOOR R.O. (DRYWALL OPENING) = width + 2", height equal to door size, Solid block above door twice the width of the door for track, Solid block above door twice the width of the door for track.
- BARN DOOR R.O. (DOOR JAMB) = width and height equal to door size, Solid block above door twice the width of the door for track.



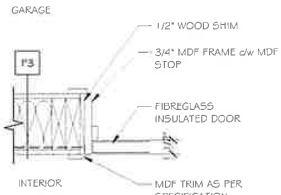
SECTION DETAIL:
ENTRY DOOR HEAD AND THRESHOLD
1 1/2" = 1'-0"



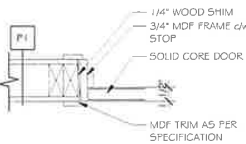
A FIBERGLASS ENTRY DOOR
-TRIM ON TWO SIDES



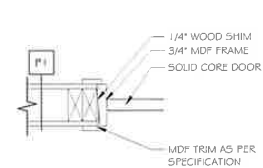
B OVERHEAD DOOR
-TYPICAL OVERHEAD DOOR



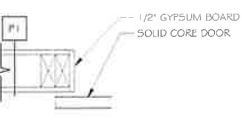
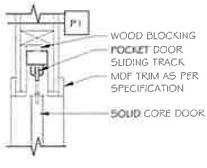
C FIBERGLASS INSULATED DOOR
-TRIM ON TWO SIDES
-BETWEEN GARAGE AND DWELLING



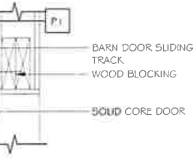
D INTERIOR SOLID CORE
-MDF FRAME
-TRIM ON TWO SIDES
-TYPICAL DOOR TYPE



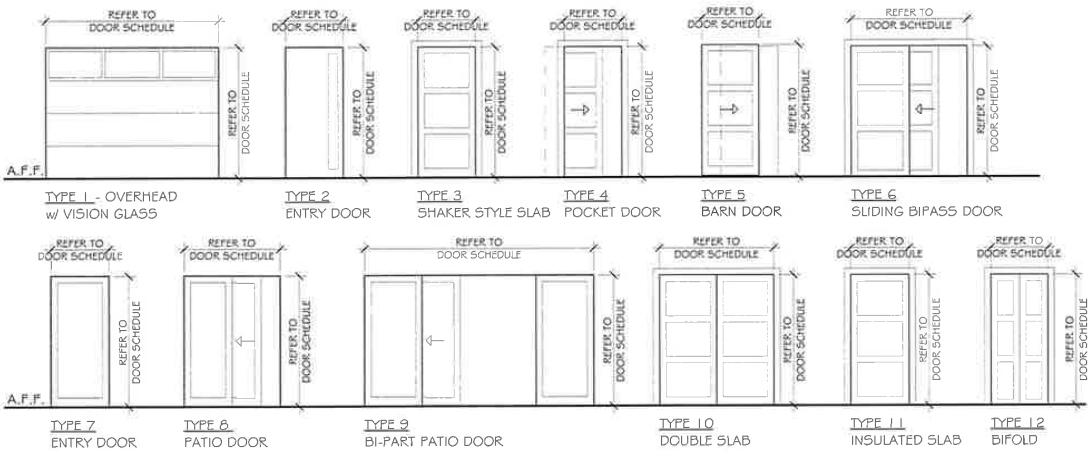
E INTERIOR SOLID CORE WOOD
-MDF FRAME
-TRIM ON TWO SIDES
-POCKET DOOR



F INTERIOR SOLID CORE
-GYPSUM BOARD RETURNS
-BARN DOOR



SECTION



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DESIGN REVIEW	25-08-22
DESCRIPTION	DATE
PROJECT	25-002

PETERS RESIDENCE

COALDALE, AB

LEGAL ADDRESS	
Drawn By	Date (YY-MM-DD)
J5	25-07-23



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DRAWING TITLE
DOOR SCHEDULE

Development Permit
Building Permit
SHEET

AO.1

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WINDOW SCHEDULE

NO.	LOCATION	GLASS SIZE		TYPE	INTERGLAZING		EXTERIOR FINISH		REMARKS	QTY
		WIDTH	HEIGHT		MATERIAL	THICKNESS	MATERIAL	THICKNESS		
01	PORCH GLAZING	4'-0"	4'-0"	FIXED	W	PP	ALU	PP	ALU	1
02	STAIRWELL	4'-0"	6'-0"	FIXED	W	PP	ALU	PP	ALU	1
03	MAIN ENTRY PORCH	4'-0"	6'-0"	FIXED	W	PP	ALU	PP	ALU	1
04	KITCHEN	4'-0"	6'-0"	FIXED	W	PP	ALU	PP	ALU	1
05	BREAKFAST ROOM	4'-0"	6'-0"	FIXED	W	PP	ALU	PP	ALU	1
06	LIVING	4'-0"	6'-0"	FIXED	W	PP	ALU	PP	ALU	1
07	DINING	4'-0"	6'-0"	FIXED	W	PP	ALU	PP	ALU	1
08	BEDROOM	4'-0"	6'-0"	FIXED	W	PP	ALU	PP	ALU	1
09	BATH	4'-0"	6'-0"	FIXED	W	PP	ALU	PP	ALU	1
10	CL. ENTRY	4'-0"	6'-0"	FIXED	W	PP	ALU	PP	ALU	1
11	CL. ENTRY	4'-0"	6'-0"	FIXED	W	PP	ALU	PP	ALU	1
12	CL. ENTRY	4'-0"	6'-0"	FIXED	W	PP	ALU	PP	ALU	1
13	CL. ENTRY	4'-0"	6'-0"	FIXED	W	PP	ALU	PP	ALU	1
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18	CL. ENTRY	4'-0"	6'-0"	FIXED	W	PP	ALU	PP	ALU	1
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20	CL. ENTRY	4'-0"	6'-0"	FIXED	W	PP	ALU	PP	ALU	1
21	CL. ENTRY	4'-0"	6'-0"	FIXED	W	PP	ALU	PP	ALU	1
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ABBREVIATIONS:

AL ALUMINUM CLAD
DWG REFER TO DRAWINGS
PP PREFINISHED
PT PAINT
SPEC REFER TO SPECIFICATIONS
SS STAINLESS STEEL
ST STAIN
TG TEMPERED GLASS
V VINYL
WD WOOD
WG WIGGLY GLASS

PLAN DETAIL:
TYPICAL WINDOW JAMB

1
A0.2
1 1/2" = 1'-0"

SECTION DETAIL:
TYPICAL WINDOW HEAD AND SILL

2
A0.2
1 1/2" = 1'-0"

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PRELIMINARY
NOT FOR CONSTRUCTION

DESIGN REVIEW 25-08-22

DATE

PROJECT 25-002

PETERS RESIDENCE

COALDALE, AB

LEGAL ADDRESS

Drawn By Date (YY-MM-DD)

J5 25-07-23

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ARCHITECTURE INC.

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Ferne, BC V0B 1M5 www.urbandstix.ca

DRAWING TITLE

WINDOW SCHEDULE

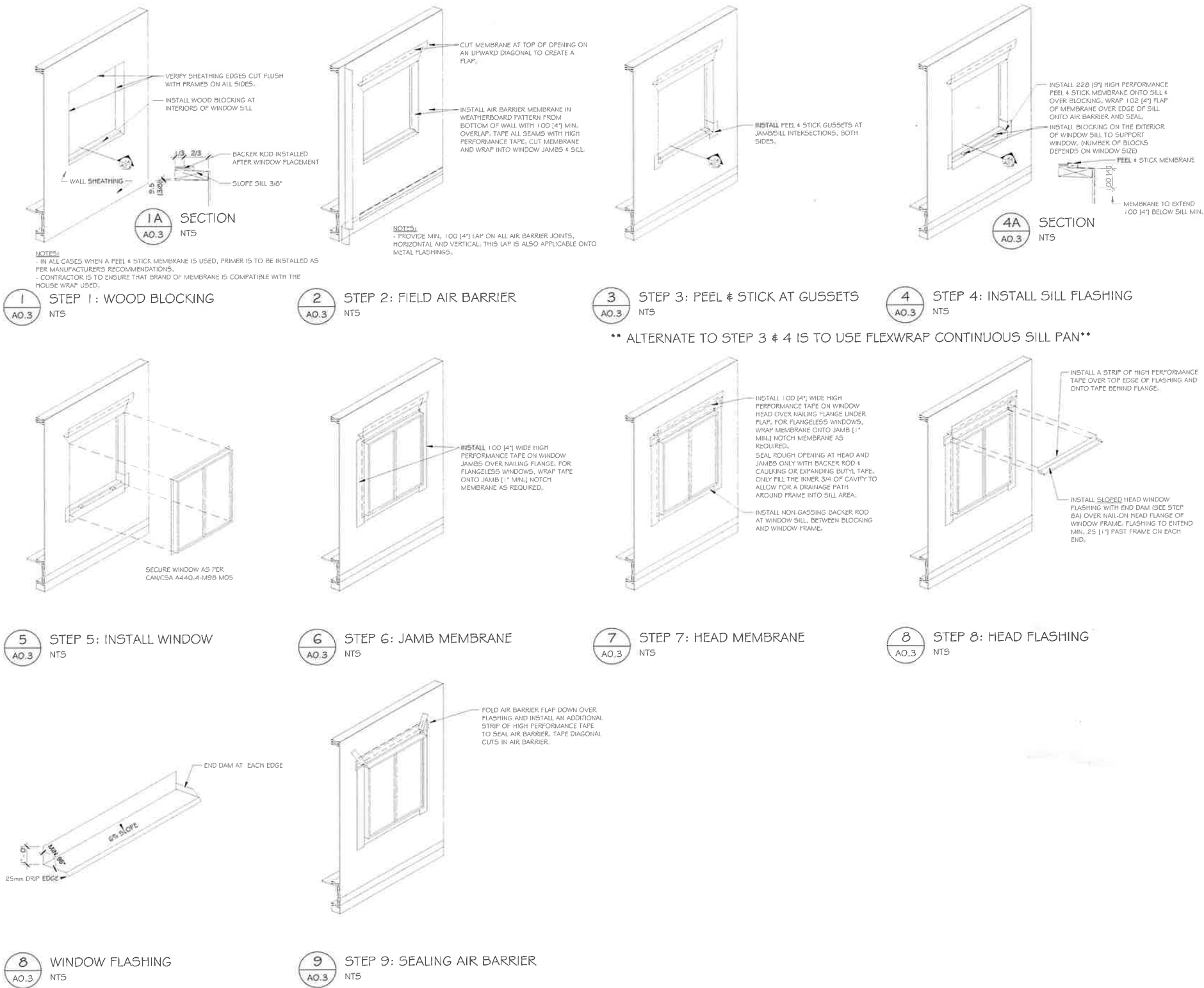
Development Permit
Building Permit
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DESIGN REVIEW	25-06-22
No. DESCRIPTION	DATE
PROJECT 25-002	

PETERS RESIDENCE
COALDALE, AB
LEGAL ADDRESS
Drawn By J5 Date (YY-MM-DD) 25-07-23

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DRAWING TITLE
WINDOW SEQUENCE
DIAGRAMS

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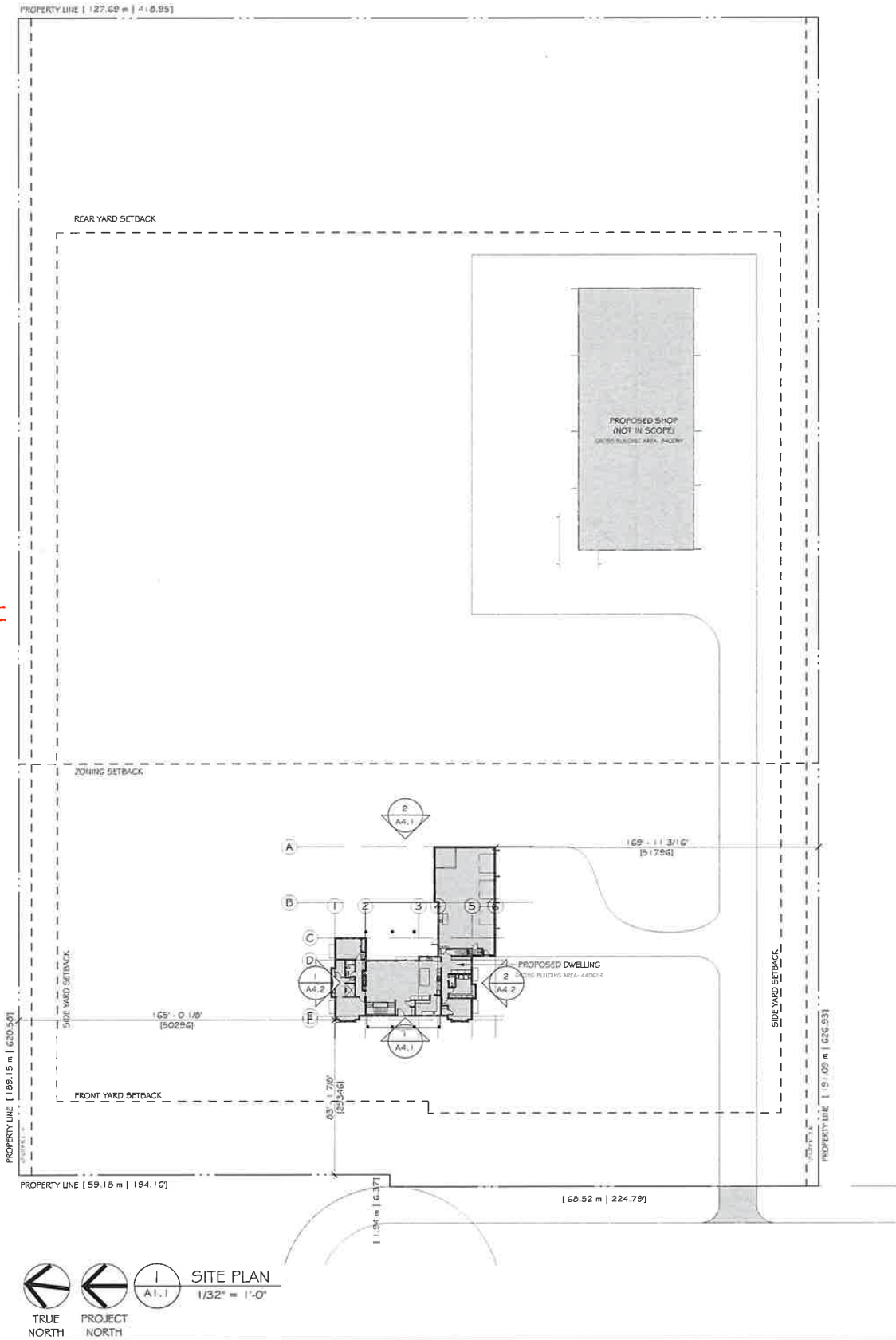
Sept. 18/25

ARCHITECTURAL CONTROL NOTES:

1. THE PLAN REVIEW FIRM WILL ACCEPT THIS APPLICATION WITH THE CONDITION THAT NO CONSTRUCTION CAN COMMENCE WITHOUT THE APPROVED GRADING FROM MARTIN GEOMATIC.
2. THE RESIDENCE AND THE SHOP MUST BE BUILT AT THE SAME TIME.
3. MINIMUM CONCRETE DRIVEWAYS 30'-0" DEEP.
4. WOOD FENCING PLAN AND DETAILS TO BE SUBMITTED BEFORE CONSTRUCTION.
5. LANDSCAPING - FRONTYARD TREE, SOO AND TREE BELT AS PER ARCHITECTURAL CONTROLS.

Carla Palm

LEGAL DESCRIPTION	
Property Description	
ADDRESS:	COALDALE, AB
LEGAL DESCRIPTION:	
ZONING:	
LOT AREA	25,412.17
FRONT YARD SETBACK	37' - 4.71 (11.31)
SIDE YARD SETBACK	12' - 0.00 (3.66)
REAR YARD SETBACK	11' - 0.00 (3.35)
BUILDING AREA	12,000.00
COVERED DECK	800.00
PARCEL COVERAGE	5.1%



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PRELIMINARY
NOT FOR CONSTRUCTION

DESIGN REVIEW	25-08-22
DESCRIPTION	DATE
PROJECT 25-002	

PETERS RESIDENCE
COALDALE, AB
LEGAL ADDRESS
Drawn By: JS
Date (YY-MM-DD): 25-07-23

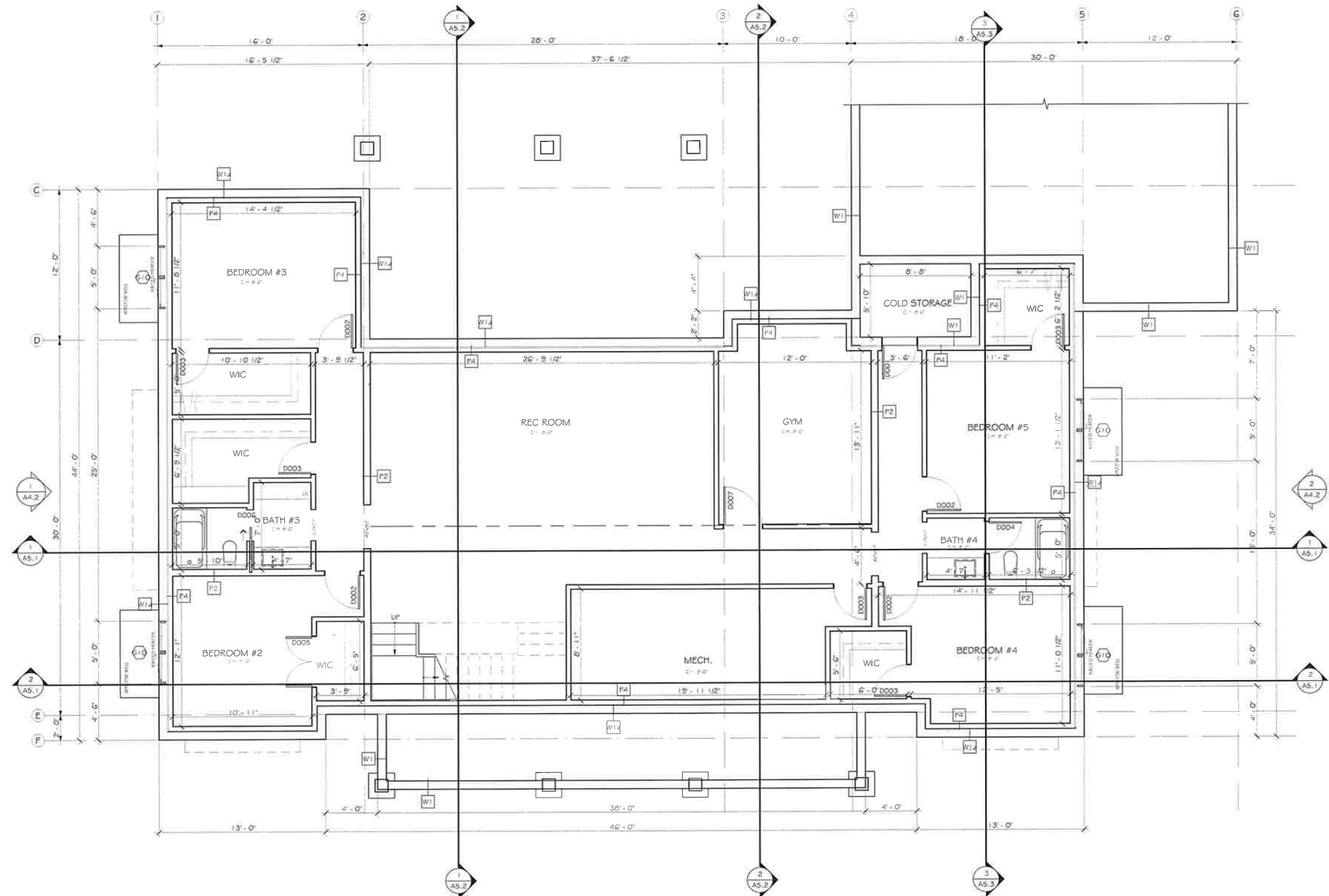
UrbanSTIX
ARCHITECTURE INC.
3186 Anderson Rd 250.423.8800
Fernie, BC V0B 1M5 www.urbanstix.ca

DRAWING TITLE
SITE PLAN & BUILDING
CODE SUMMARY

Development Permit
Building Permit
SHEET
A1.1

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 **1**
A2.2
PROJECT NORTH
BASEMENT FLOOR PLAN
1/4" = 1'-0"

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3. ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED.
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NOT FOR CONSTRUCTION

DESIGN REVIEW 25-06-22
DESCRIPTION DATE
PROJECT 25-002

PETERS RESIDENCE

COALDALE, AB

LEGAL ADDRESS
Drawn By Date (YY-MM-DD)
J5 25-07-23


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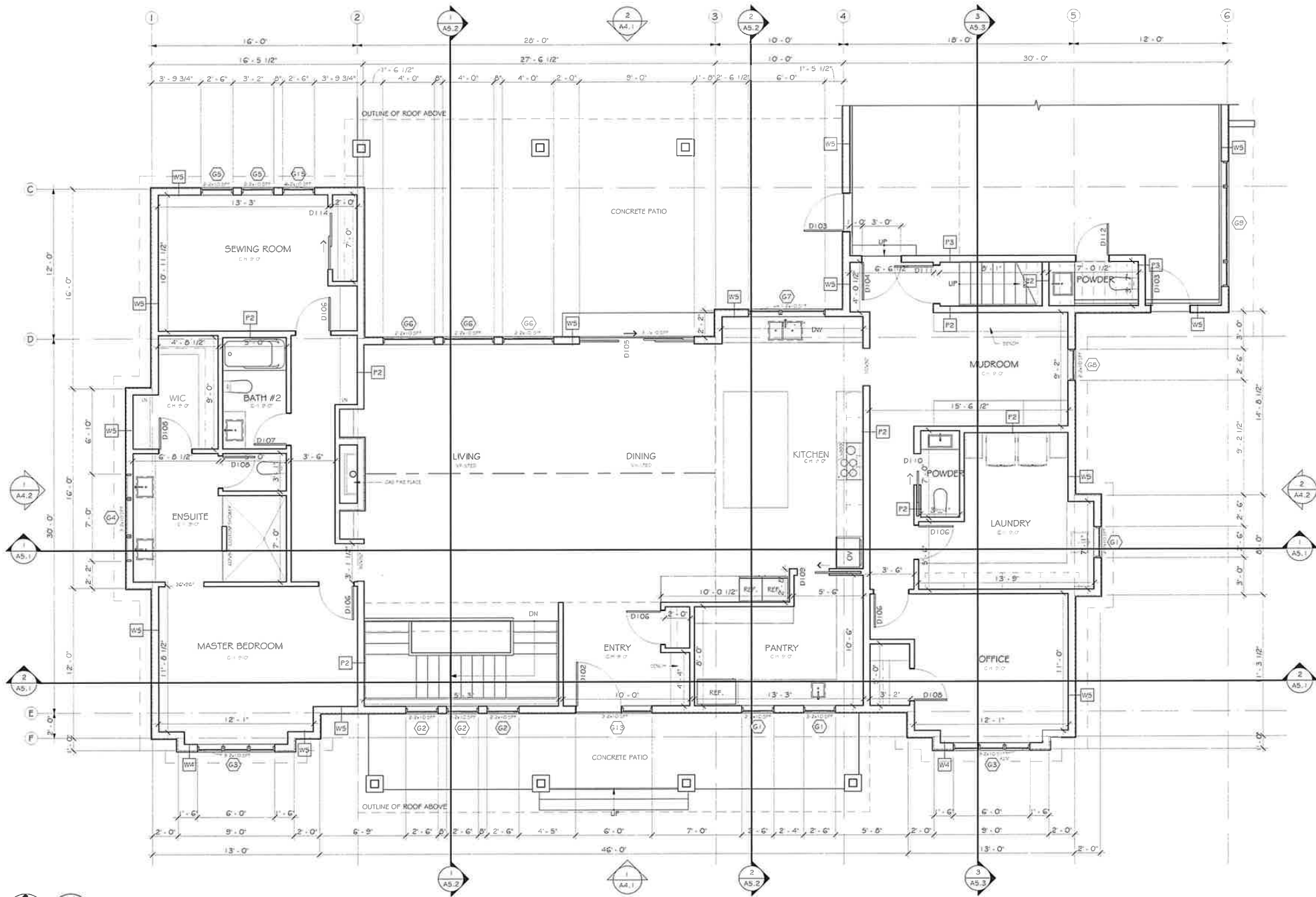
DRAWING TITLE
BASEMENT FLOOR PLAN

Development Permit
Building Permit
SHEET

A2.2

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1 MAIN FLOOR PLAN
1/4" = 1'-0"
PROJECT NORTH
MAIN FLOOR: 261418

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4. DO NOT SCALE DRAWINGS.

FLOOR PLAN LEGEND
(APPLIED TO THIS SHEET ONLY)

1. ALL INTERIOR PARTITIONS TO BE P-1 UNLESS OTHERWISE NOTED.
2. DOOR ROUGH OPENING TO BE SET 4" FROM HINGE SIDE TO ADJACENT STUD UNLESS OTHERWISE NOTED.
3. CLOSET DOORS TO BE CENTRED IN CLOSET UNLESS OTHERWISE NOTED.

ABBREVIATION LEGEND
AA 30"x24" ATTIC ACCESS HATCH
CC COAT CLOSET
DBLE DOUBLE SHELF
DR DOUBLE ROD
DW DISH WASHER
EP ELECTRICAL PANEL
FD FLOOR DRAIN
FRN FURNITURE
HB HOSE BIB
HWT HOT WATER TANK
HR HANDRAIL
MC MEDICINE CABINET
REF REFRIGERATOR
RR RADON ROUGH-IN - REFER TO DETAIL
1/4" = 1'-0"
SR SINGLE ROD
TB TOWEL BAR
TH TOILET PAPER HOLDER
--- DEPICTS EXTENT OF FIRE RATED ASSEMBLY

PRELIMINARY
NOT FOR CONSTRUCTION

1 DESIGN REVIEW 25-06-22
2 DESCRIPTION DATE
PROJECT 25-002

PETERS RESIDENCE

COALDALE, AB

LEGAL ADDRESS
Drawn By Date (YY-MM-DD)
JS 25-07-23

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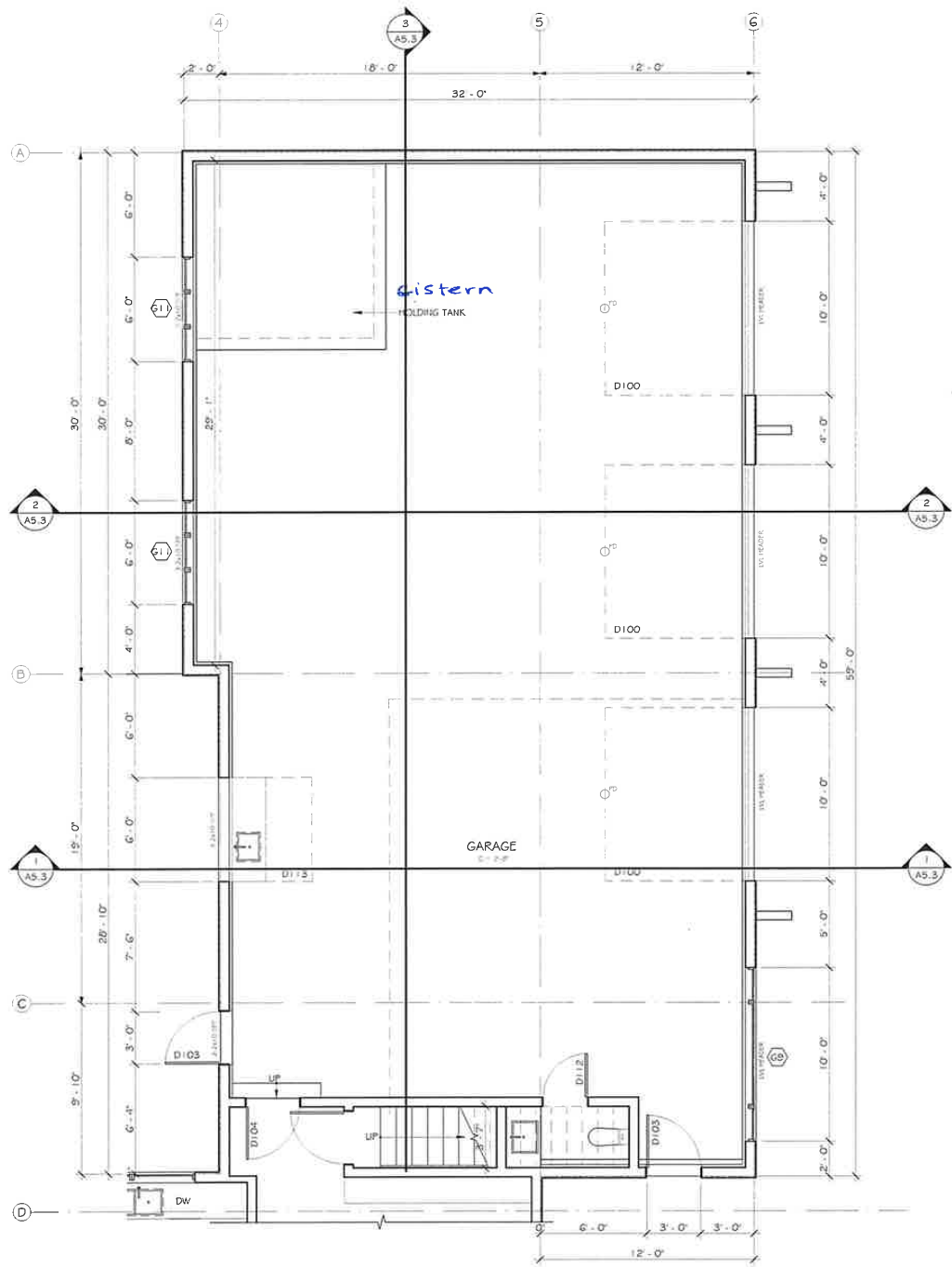
DRAWING TITLE
MAIN FLOOR PLAN

Development Permit
Building Permit
SHEET

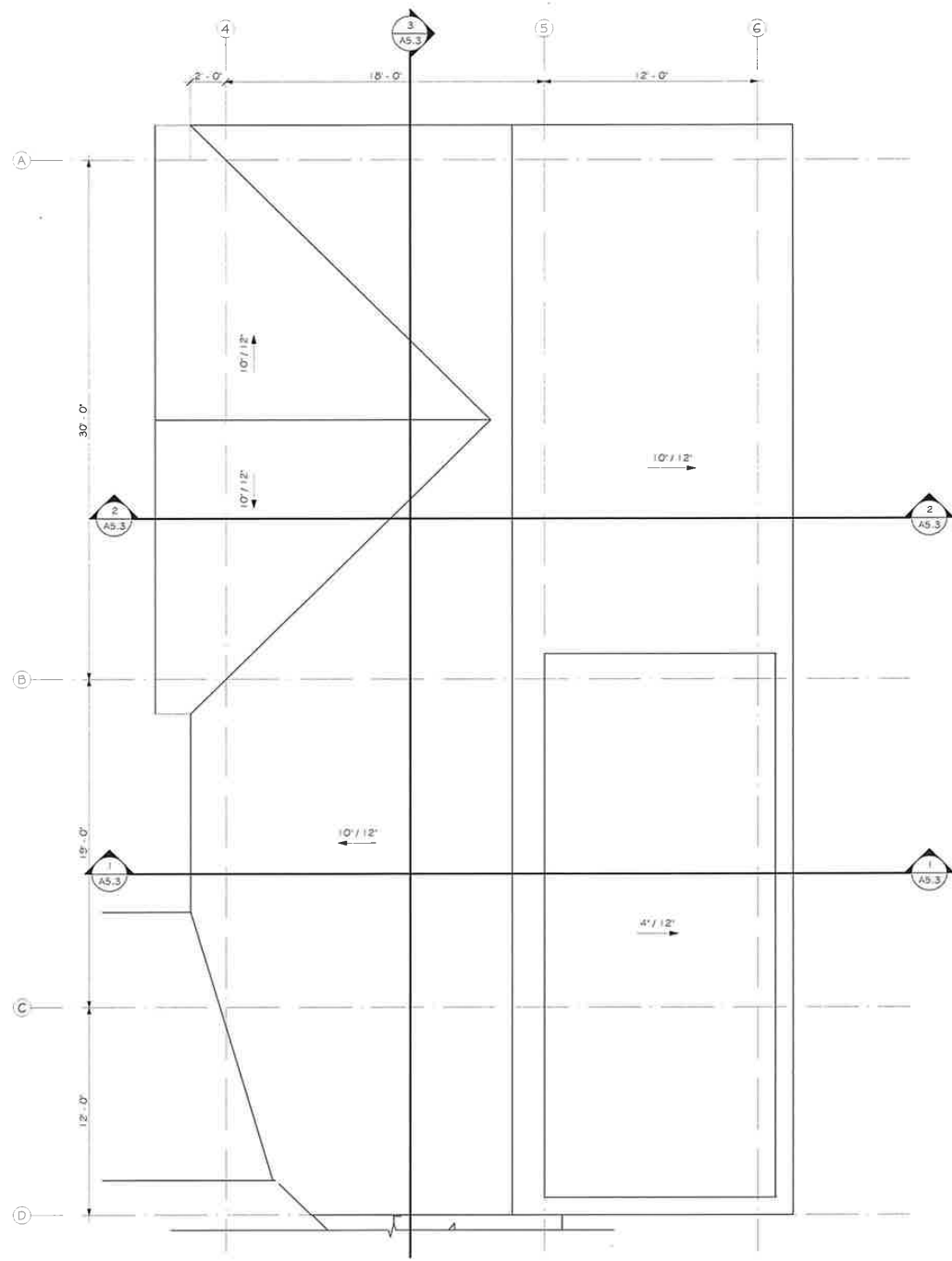
A2.3

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1 GARAGE FLOOR PLAN
A2.4
1/4" = 1'-0"



2 ROOF PLAN
A2.4
1/4" = 1'-0"

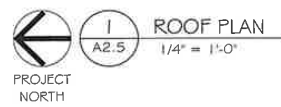
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FLOOR PLAN LEGEND
(APPLIED TO THIS SHEET ONLY)
1. ALL INTERIOR PARTITIONS TO BE P-1 UNLESS OTHERWISE NOTED.
2. DOOR ROUGH OPENING TO BE SET 4" FROM HINGE SIDE TO ADJACENT STUD UNLESS OTHERWISE NOTED.
3. CLOSET DOORS TO BE CENTRED IN CLOSET UNLESS OTHERWISE NOTED.

ABBREVIATION LEGEND
AA 30x24" ATTIC ACCESS HATCH
CC COAT CLOSET
DBLE DOUBLE SHELF
DR DOUBLE ROD
DW DISH WASHER
EP ELECTRICAL PANEL
FD FLOOR DRAIN
FRN FURNACE
HB HOSE BID
HWT HOT WATER TANK
HR HANDRAIL
MC MEDICINE CABINET
REF REFRIGERATOR
RR RADON ROUGH-IN - REFER TO DETAIL
1/AS.1 SINGLE ROD
TB TOWEL BAR
TH TOILET PAPER HOLDER
--- DEPICTS EXTENT OF FIRE RATED ASSEMBLY

PRELIMINARY
NOT FOR CONSTRUCTION

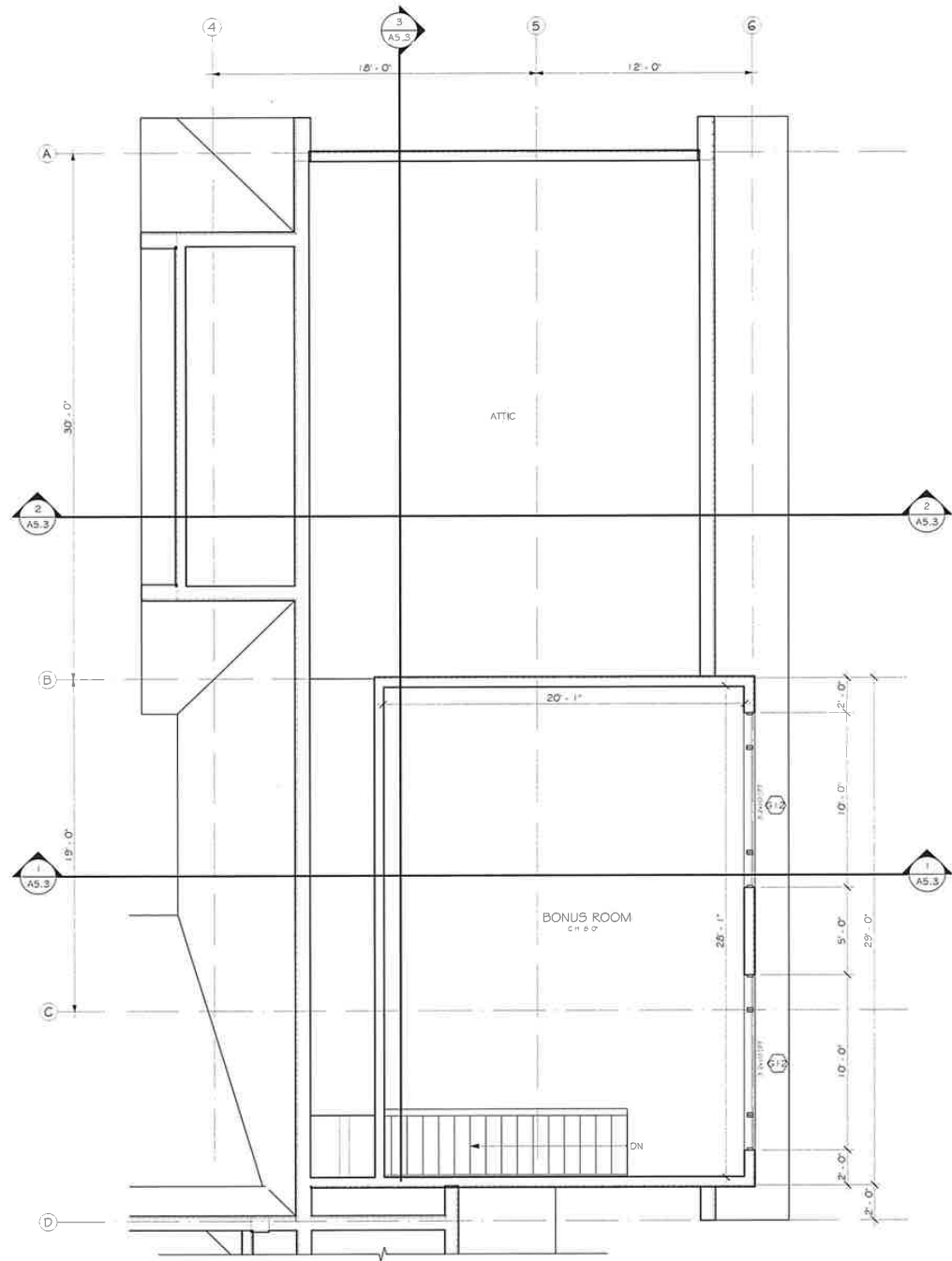
DESIGN REVIEW	25-08-22
No. DESCRIPTION	DATE
PROJECT 25-002	
PETERS RESIDENCE	
COALDALE, AB	
LEGAL ADDRESS	
Drawn By	Date (YY-MM-DD)
J5	25-07-23
urbanSTIX ARCHITECTURE INC.	
3186 Anderson Rd 250 423 8800 Fernie, BC V0B 1M1 www.urbanstix.ca	
DRAWING TITLE	
GARAGE FLOOR & ROOF PLAN	
Development Permit Building Permit SHEET	
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  **BONUS ROOM FLOOR PLAN**
1/4" = 1'-0"

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FLOOR PLAN LEGEND

(APPLIED TO THIS SHEET ONLY)

- ALL INTERIOR PARTITIONS TO BE P-1 UNLESS OTHERWISE NOTED.
- DOOR ROUGH OPENING TO BE SET 4" FROM HINGE SIDE TO ADJACENT STUD UNLESS OTHERWISE NOTED.
- CLOSET DOORS TO BE CENTRED IN CLOSET UNLESS OTHERWISE NOTED.

ABBREVIATION LEGEND

- | | |
|------|---------------------------------------|
| AA | 30"x24" ATTIC ACCESS HATCH |
| CC | COAT CLOSET |
| DBL | DOUBLE SHELF |
| DR | DOUBLE ROD |
| DW | DISH WASHER |
| EP | ELECTRICAL PANEL |
| FD | FLOOR DRAIN |
| FRN | FURNACE |
| HB | HOSE BIB |
| HWT | HOT WATER TANK |
| HR | HANDRAIL |
| MC | MEDICINE CABINET |
| REF | REFRIGERATOR |
| RR | RADON ROUGH-IN - REFER TO DETAIL |
| 1/4" | 1/4" SINGLE ROD |
| 2" | 2" TOWEL BAR |
| TH | TOILET PAPER HOLDER |
| --- | DEPICTS EXTENT OF FIRE RATED ASSEMBLY |

PRELIMINARY
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DESIGN REVIEW 25-08-22

No. DESCRIPTION DATE

* PROJECT 25-002

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LEGAL ADDRESS

Drawn By Date (YY-MM-DD)

Author 25-07-23


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Fernie, BC V0B 1M1 www.urbanstix.ca

DRAWING TITLE

BONUS ROOM &
ENLARGED FLOOR

PLAN

Development Permit

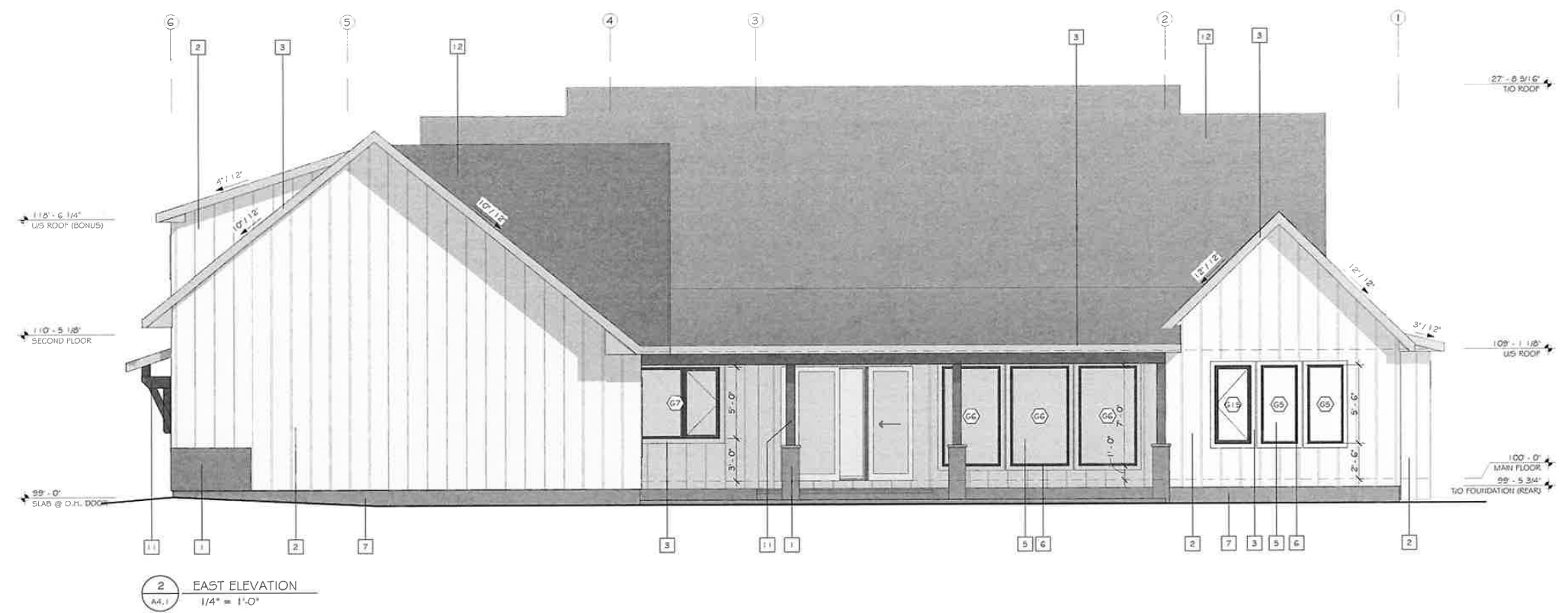
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MATERIAL LEGEND	
1	STONE VENEER
2	COMPOSITE BOARD & BATTEN SIDING COLOR: TBD (ALLURA)
3	SMARTBOARD TRIM & FASCIA COLOR: TBD
5	LOW-E TRIPLE PANE GLASS
6	ALUMINUM CLAD WINDOW FRAMES FINISH: BLACK
7	CONCRETE
8	T&G WOOD SOFFIT FINISH: TBD (SANSIN)
9	STANDING SEAM METAL COLOR: TBD (FORMA)
11	WOOD TIMBERS FINISH: TBD (SANSIN)
12	ASPHALT SHINGLES COLOR: TBD

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1 DESIGN REVIEW	25-08-22
No. DESCRIPTION	DATE
PROJECT 25-002	

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LEGAL ADDRESS
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ELEVATIONS

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MATERIAL LEGEND

- 1 STONE VENEER
- 2 COMPOSITE BOARD & BATTEN SIDING
COLOR: TBD (ALLURA)
- 3 SMARTBOARD TRIM & FASCIA
COLOR: TBD
- 5 LOW-E TRIPLE PANE GLASS
- 6 ALUMINUM CLAD WINDOW FRAMES
FINISH: BLACK
- 7 CONCRETE
- 8 T&G WOOD SOFFIT
FINISH: TBD (SANSIN)
- 9 STANDING SEAM METAL
COLOR: TBD (FORMA)
- 11 WOOD TIMBERS
FINISH: TBD (SANSIN)
- 12 ASPHALT SHINGLES
COLOR: TBD

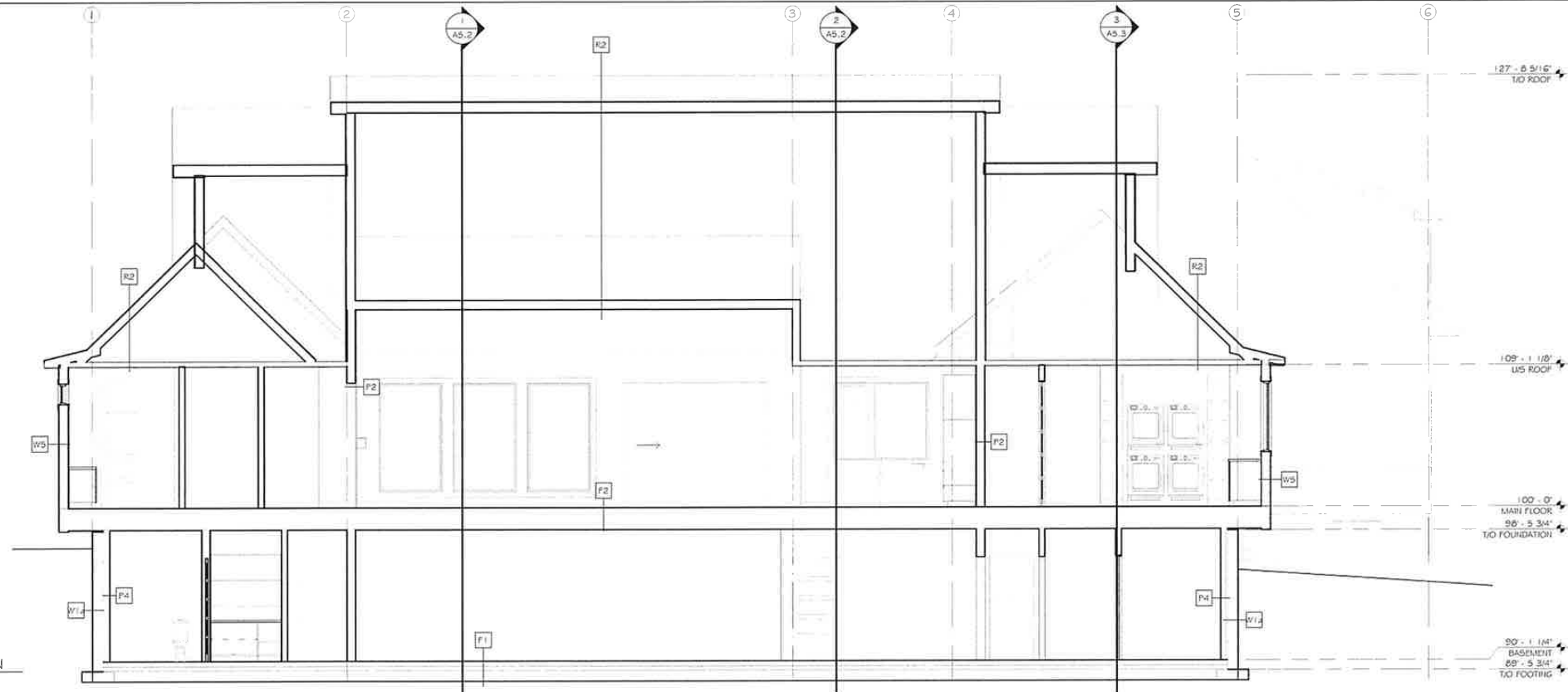
DESIGN REVIEW 25-08-22
DATE
DESCRIPTION PROJECT 25-002
PETERS RESIDENCE
COALDALE, AB
LEGAL ADDRESS
Drawn By JS Date (YY-MM-DD) 25-07-23

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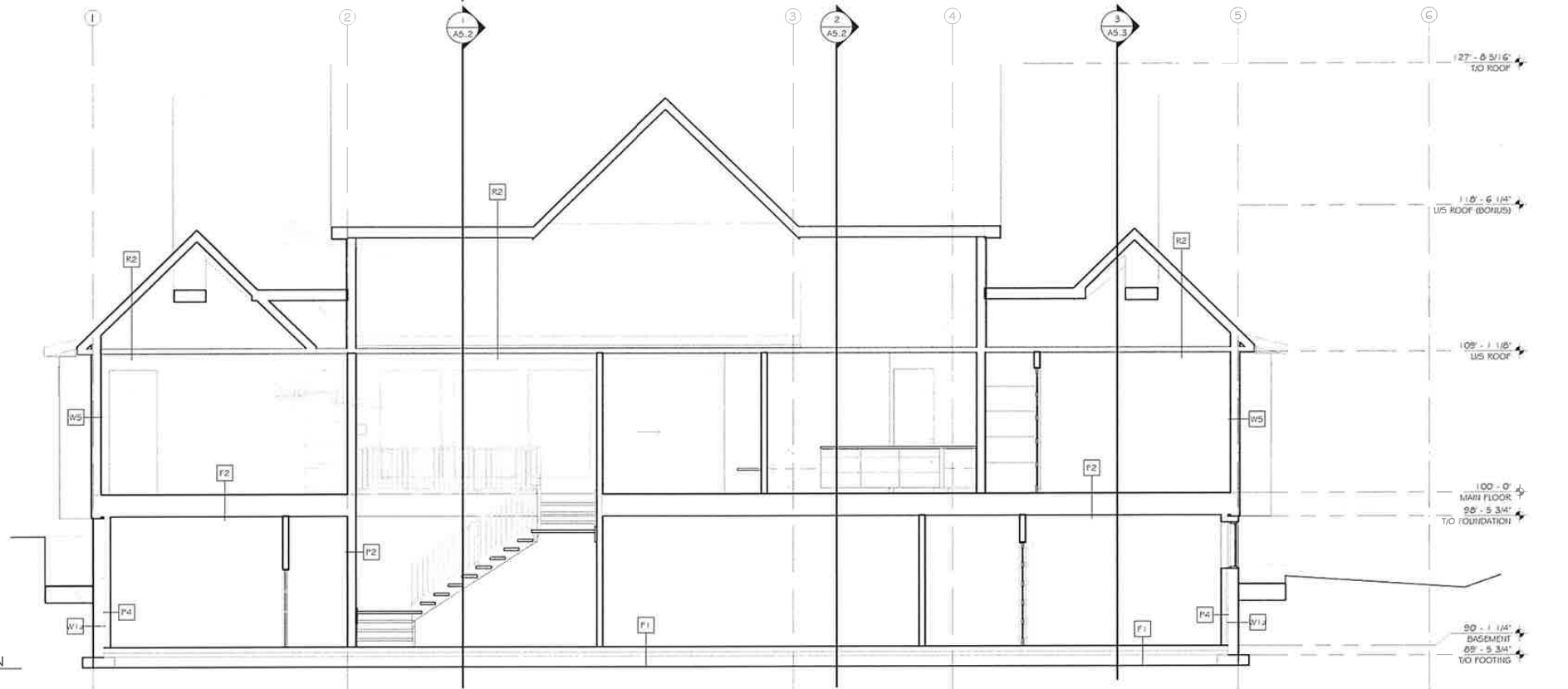
DRAWING TITLE
ELEVATIONS
Development Permit
Building Permit
SHEET
A4.2
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1
A5.1
BUILDING SECTION
1/4" = 1'-0"



2
A5.1
BUILDING SECTION
1/4" = 1'-0"



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1st DESCRIPTION	DATE
PROJECT	25-002

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COALDALE, AB

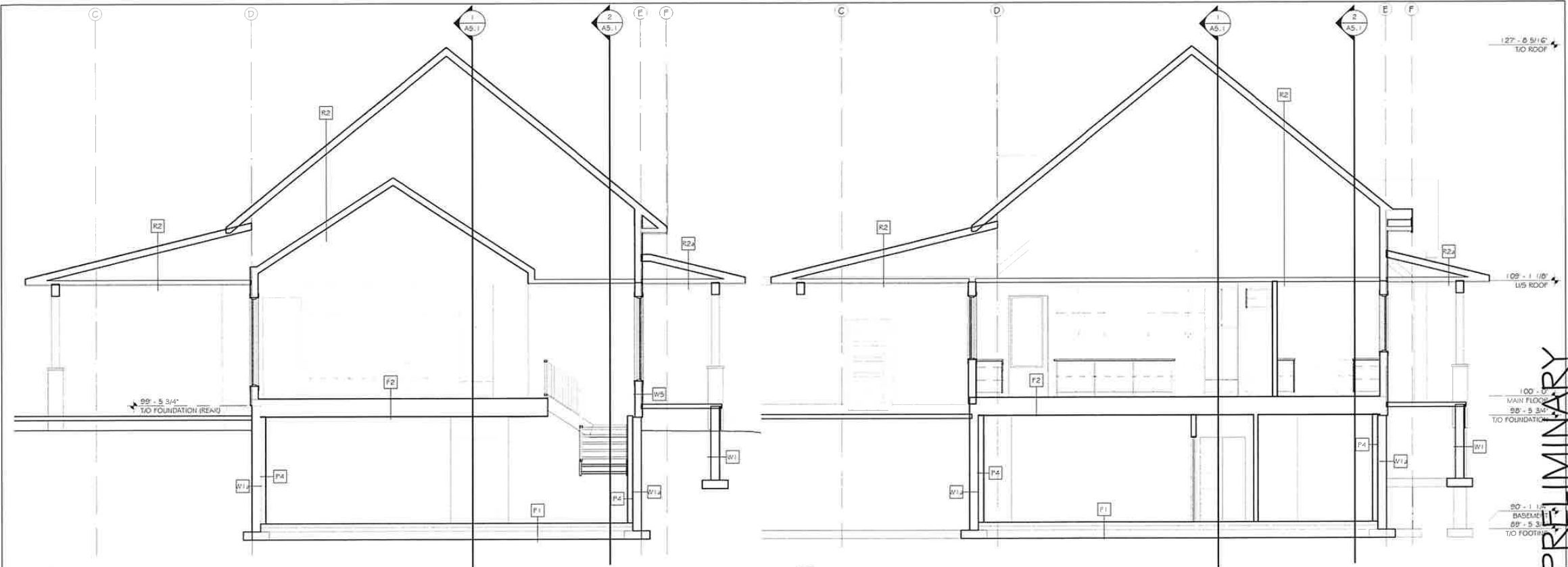
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J5	25-07-23

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BUILDING SECTIONS

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SHEET
A5.1

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1 BUILDING SECTION
1/4" = 1'-0"

2 BUILDING SECTION
1/4" = 1'-0"

DESIGN REVIEW	25-08-22
DESCRIPTION	DATE
PROJECT 25-002	

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COALDALE, AB

LEGAL ADDRESS	
Drawn By	Date (YY-MM-DD)
J5	25-07-23

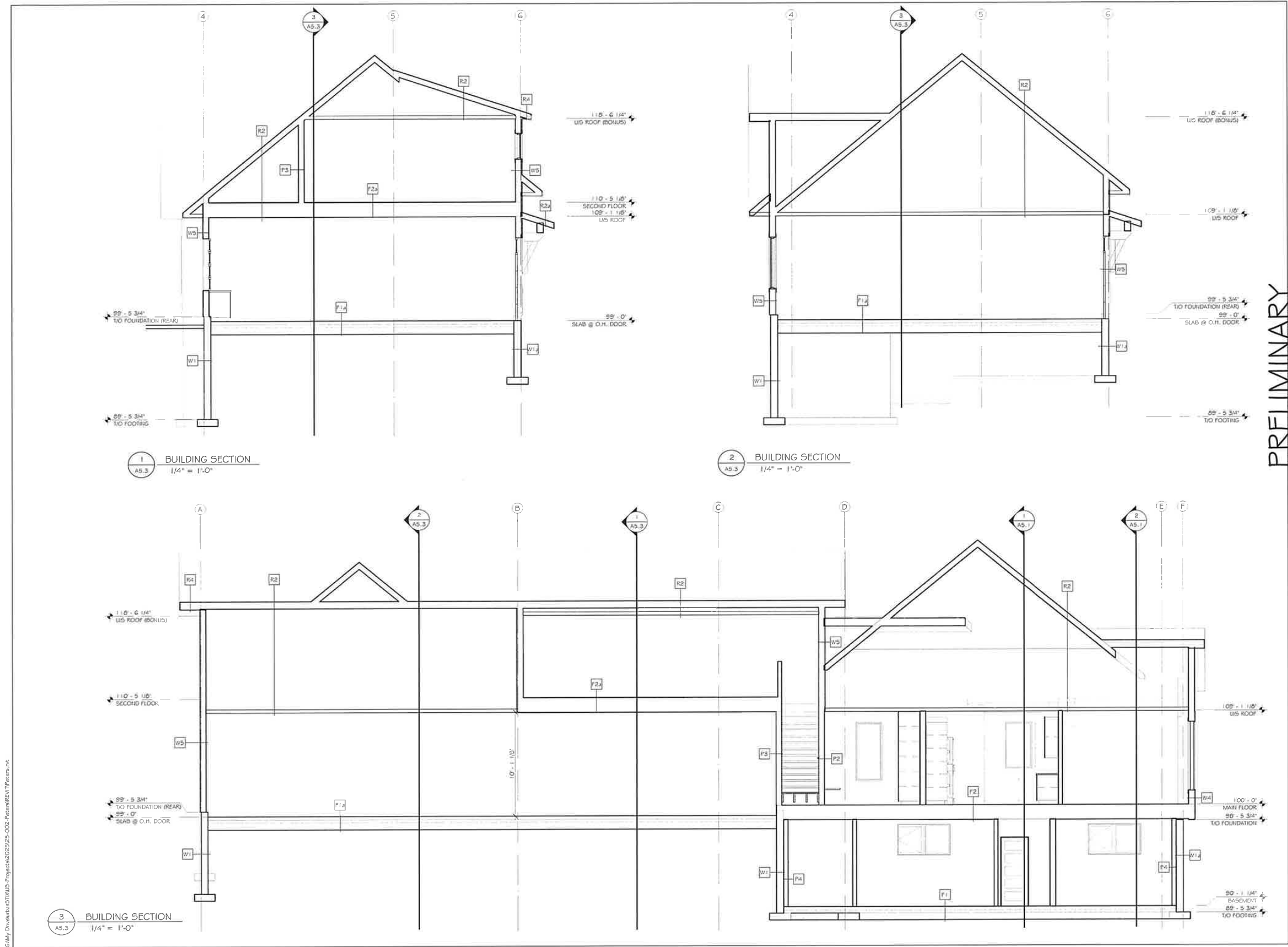
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ARCHITECTURE INC.
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Fernie, BC V0B 1M1 www.urbanstix.ca

DRAWING TITLE
BUILDING SECTIONS

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DESCRIPTION	DATE
PROJECT 25-002	
PETERS RESIDENCE	
COALDALE, AB	
LEGAL ADDRESS	
Drawn By	Date (YY-MM-DD)
J5	25-07-23
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BUILDING SECTIONS	
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August 6 2029

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PERMIT No. AC284
ISSUED PURSUANT TO THE
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2025-08-01
APEGA ID: 176756

**PERMIT TO PRACTICE
ANNO DOMINI ENGINEERING LTD.**

RM SIGNATURE: _____

RM APEGA ID #: 176756

DATE: 2025-08-01

DATE: 2003-06-01
PERMIT NUMBER: P016238
 The Association of Professional Engineers and
 Geoscientists of Alberta (APEGA)

[illegible]

ANNO DOMINI
ENGINEERING LTD.

PROJECT
60'X140' SHOP

TITLE	3D RENDERS
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CLIENT **FRANZ PETERS**

DRAWN BY NG	CHECKED BY JE	DATE 25/08/01
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CHECKED BY	JE
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DATE	25/08/01
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SCALE (@ A1)

PROJECT NUMBER	25-45-001
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DRAWING NUMBER
A1.1

REV	
3	

2025-08-01 5:40:47 PM

REVIEW

3- LOT 6; BLOCK 1: RANGE RD 210A

- FIRE RATINGS:**
- A. SHOPS/OFFICE – NO SEPERATION REQUIRED (3.1.3.1, 3.1.3.1)
 - B. U.S. MEZZANINE ASSEMBLY
 - N/A (3.2.2.80, 3.2.2.64)
 - C. LOAD-BEARING WALLS SUPPORTING MEZZANINE
 - N/A (3.2.2.80, 3.2.2.64)
 - D. ROOF
 - N/A (3.2.2.80, 3.2.2.64)
 - E. MECHANICAL ROOM(S)
 - SEPERATED FROM THE REMAINDER OF THE BUILDING WITH 1 HR FRR (3.6.2)
 - F. DOORS
 - 45 MIN. FRR IN A 1 HR FIRE SEPERATION (9.10.13.1, 13.1)
 - 20 MIN. FRR IN A 45 MIN FIRE SEPERATION (9.10.13.1, 13.1)
 - G. EXITS
 - 45 MIN. FRR (3.4.4.1)
 - H. MEZZANINE WALLS
 - NEED NOT TERMINATE AT VERTICAL FIRE SEPERATION - (3.2.8.2.1.c)
- 9. MEANS OF EGRESS:**
- A. MAIN FLOOR (SHOP) – 2 EXITS REQ'D (3.4.2.1.2)
 - B. MAIN FLOOR (OFFICE) – 2 EXITS REQ'D (3.4.2.1.2)
 - C. MEZZANINE – 2 EXITS REQ'D (3.4.2.2), 1 EXIT REQUIRES F.R.R
- 10. TRAVEL DISTANCE:**
- A. MAIN FLOOR (SHOP) – MAX 30.0 m (3.4.2.5.3)
 - B. MAIN FLOOR (OFFICE) – MAX 40.0 m (3.4.2.1-A)
 - C. MEZZANINE – MAX 30.0 m (3.4.2.2)
- 11. WATER CLOSETS:**
- A. (1) MALE/FEMALE REQ'D - (3.7.2.2.4) - ANTICIPATED OCCUPANT LOAD < 10)
- 12. BARRIER FREE REQUIREMENTS:**
- MAIN ENTRANCE SHALL BE BARRIER-FREE (3.8.2.2)
 - MAIN ENTRANCE SHALL BE EQUIPPED WITH A POWER DOOR OPERATOR. THE POWER DOOR OPERATOR IS ONLY REQUIRED TO ACTIVATE THE ACTIVE LEAF IN A DOUBLE DOOR (3.8.2.7)
 - (1) BARRIER-FREE WATER CLOSET REQ'D (3.8.2.8)
- 13. DOORS SWING:**
- A. SWING IN THE DIRECTION OF TRAVEL (3.4.6.12)
 - B. SWING ON THE VERTICAL AXIS (3.4.6.12)
 - C. EVERY DOOR SERVING THE MECH. RM. SHALL SWING OUTWARD FROM THE MECH. RM. (3.6.2.6)
- 14. DOOR HARDWARE:**
- ALL EXIT DOORS SHALL BE EQUIPPED WITH A SELF-CLOSING MECHANISM (3.4.6.13)
 - ALL EXIT DOORS SHALL BE EQUIPPED WITH LEVER HANDLES (3.3.1.13.3, 3.8.3.8.1b)
- 15. EMERGENCY LIGHTING:**
- REQ'D AT EACH EXIT (3.2.7.3)
- 16. FIRE EXTINGUISHERS:**
- REQ'D AT EACH EXIT
- 17. EXIT SIGNS:**
- NOT REQ'D (3.4.5.1)

- 26. FIREFIGHTING WATER SUPPLY:**
 $Q = V \times O \times S = 226,150 \text{ Litres (3.2.5.7)}$
 $V = 4,523 \text{ m}^3$
 $O = 50$
 $S = 1.0$

Wall Name			% Framing		RSI _e , (m².K)/W
Wall W1	Stud Spacing		% Studs	% Cavity	
	406 c/c		23	77	
			RSI thru stud (m².K)/W	RSI thru cavity (m².K)/W	4.206
	Stud Size				
Wood Studs	184	0.0085 RSI/mm	1.564	-	
Insulation	R28		-	4.93	

RSI _i	4.696 (m ² .K)/W
U-Value	0.213 W/(m ² .K)

RSIt	1.859	(m ² .K)/W
U-Value	0.538	W/(m ² .K)

RSIt	1.839	(m ² .K)/W
U-Value	0.544	W/(m ² .K)

RSI _i	8.293 (m ² .K)/W
U-Value	0.121 W/(m ² .K)

RSI _i	8.293 (m ² .K)/W
U-Value	0.121 W/(m ² .K)

August 6 2024

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2025-08-11
APEGA ID: 176756

PERMIT TO PRACTICE
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RM SIGNATURE:

RM APEGA ID #: 176756

DATE: 2025-08-11

PERMIT NUMBER: P016238

The Association of Professional Engineers and
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[illegible]

60'X140' SHOP

TITLE
CODE REVIEW

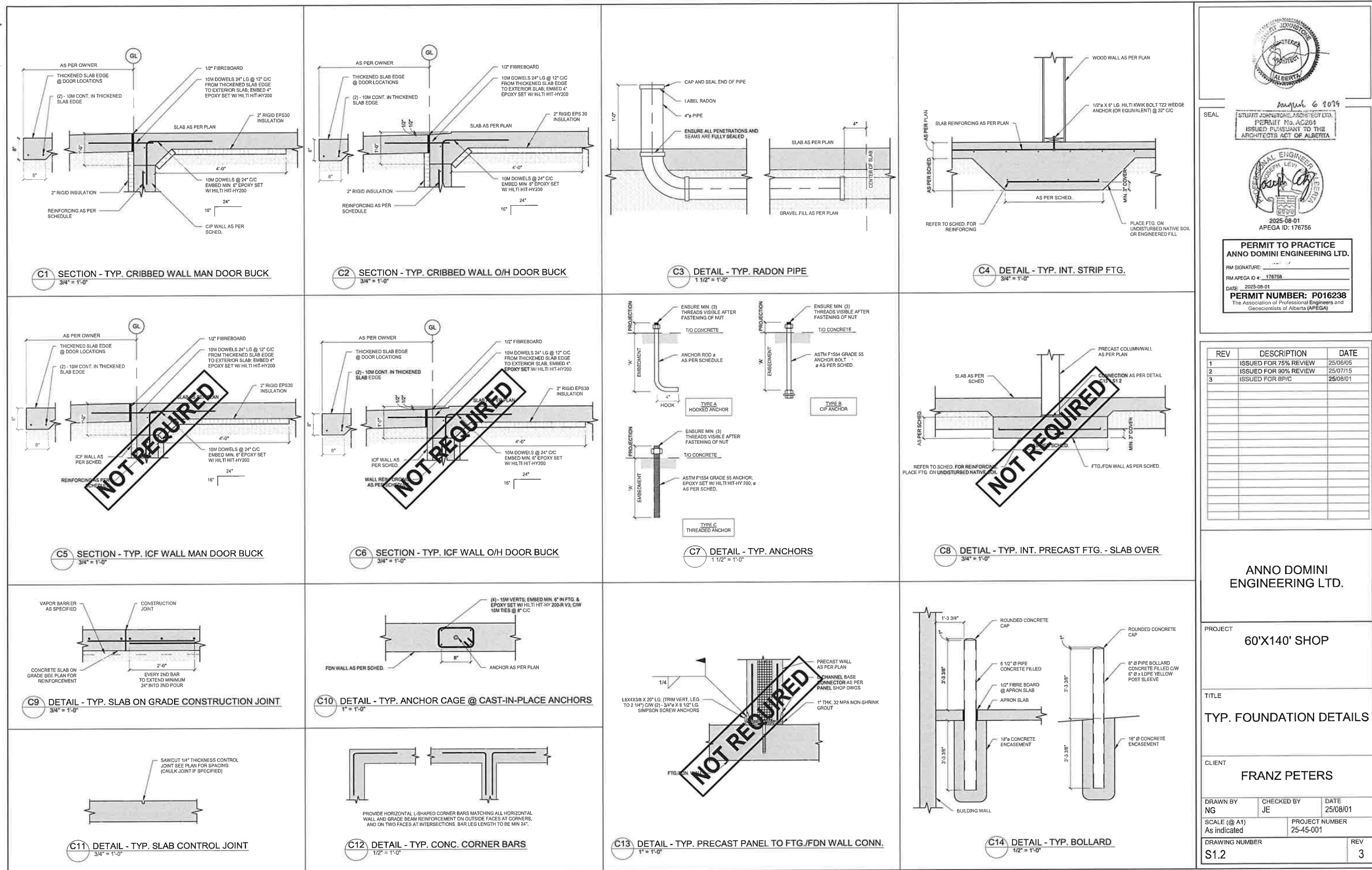
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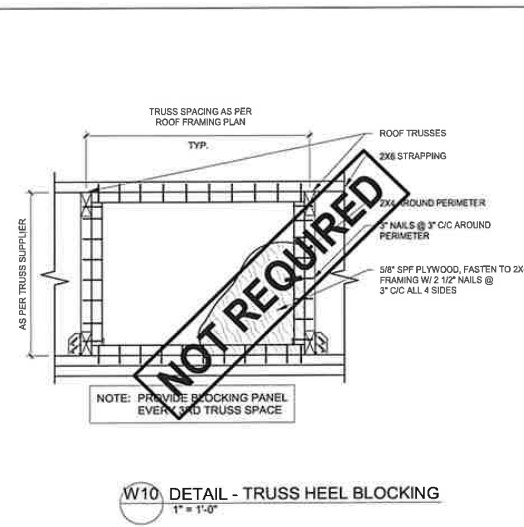
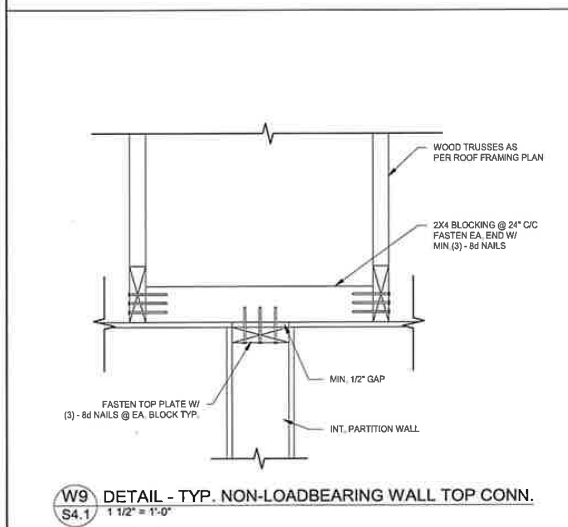
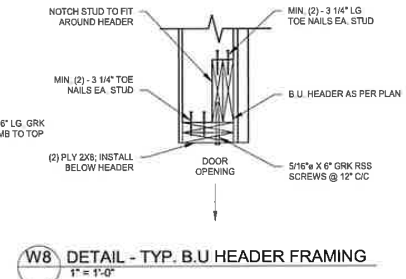
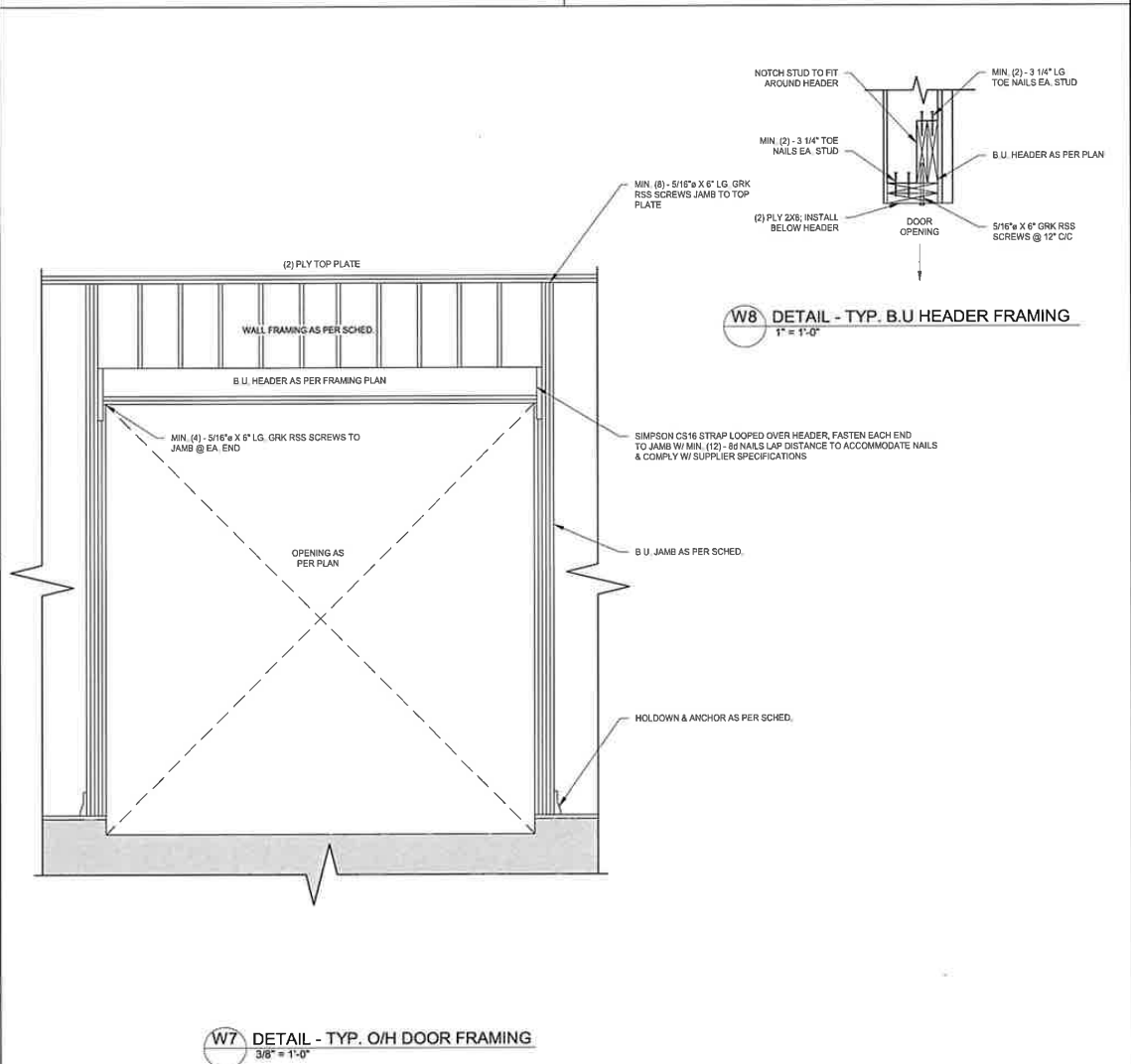
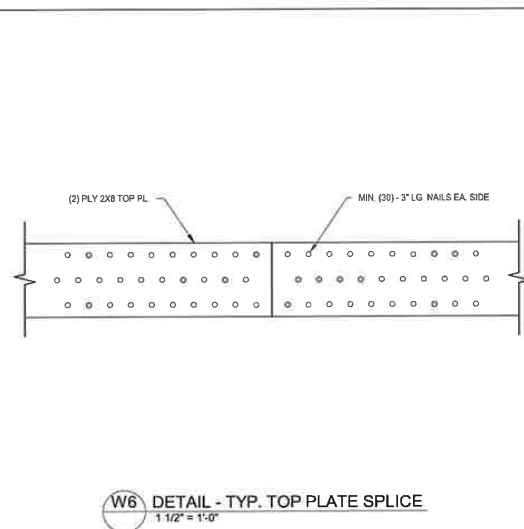
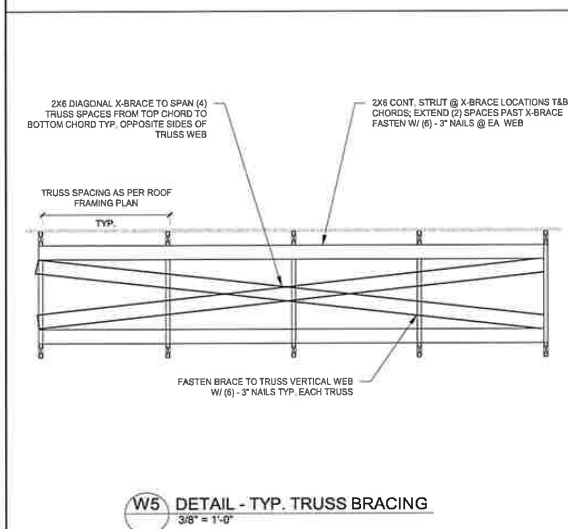
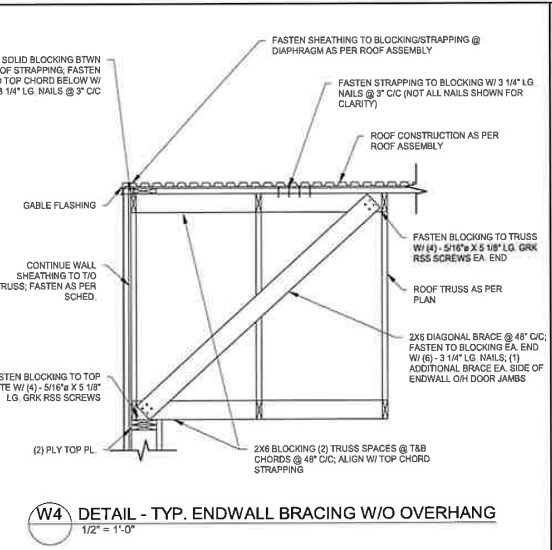
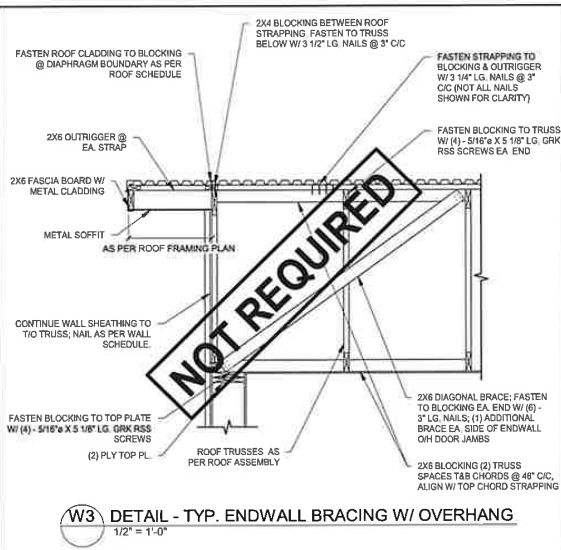
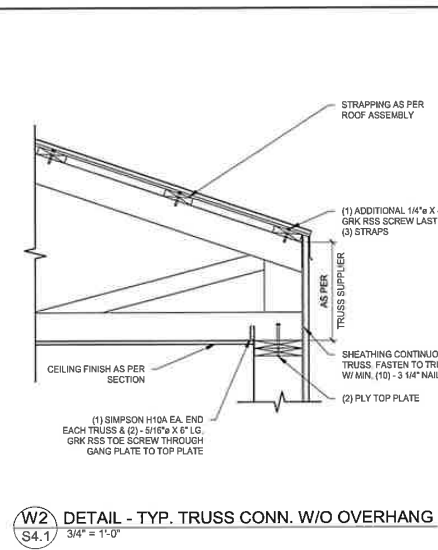
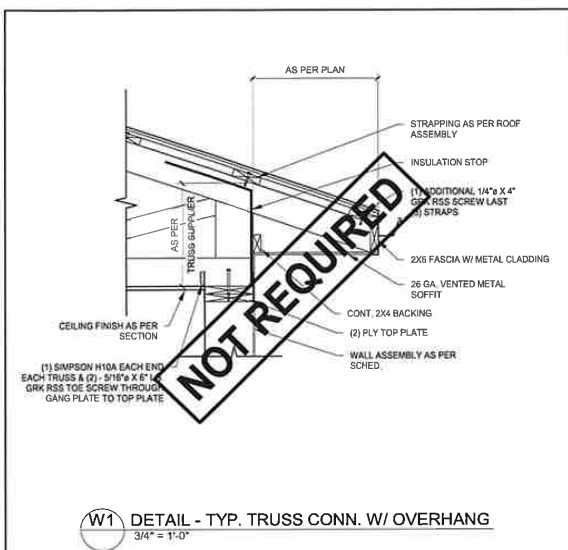
FRANZ PETERS

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SCALE (@ A1)	PROJECT NUMBER 25-45-001
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DRAWING NUMBER	REV
A1.2	4





August 6 2024

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2025-08-01
APEGA ID: 176756

**PERMIT TO PRACTICE
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RM SIGNATURE _____

RM APEGA ID # 176756

DATE: 2025-08-01

PERMIT NUMBER: P016238
The Association of Professional Engineers and
Geoscientists of Alberta (APEGA)

[illegible]

ANNO DOMINI
ENGINEERING LTD.

PROJECT 60'X140' SHOP

TITLE	TYP. FRAMING DETAILS
-------	----------------------

CLIENT
FRANZ PETERS

DRAWN BY NG	CHECKED BY JE	DATE 25/08/01
----------------	------------------	------------------

SCALE (@ A1)	PROJECT NUMBER
As indicated	25-45-001

DRAWING NUMBER	REV
S1.3	3



1

25'-5"

A

16'-1 5/8"

13/4" X 1/4" LVL 2 @ 2500FB LEDGER

16'-0" 1/8"

FACE MOUNT HANGER @ BOTH ENDS BY SUPPLIER

13/4" X 1/4" LVL 2 @ 2500FB RM BOARD

GIRDER TRUSS BY SUPPLIER

8'-4 3/4" CLR. 31'-2 1/4" CLR.

16'-1 5/8" CLR.

4'-11"

4'-11" CLR. 3'-7 1/4" CLR.

FACE MOUNT HANGER BY SUPPLIER

13/4" X 1/4" LVL 2 @ 2500FB LEDGER

1" DEEP JOISTS

C/FACE MOUNT HANGER ONE END (ENGINEERED BY SUPPLIER)

82

82

82

13/4" X 1/4" LVL 2 @ 2500FB RM BOARD

NOTE: CANTILEVERED JOISTS @ LANDING

13/4" X 1/4" LVL 2 @ 2500FB RM BOARD

13/4" X 1/4" LVL 2 @ 2500FB LEDGER

B

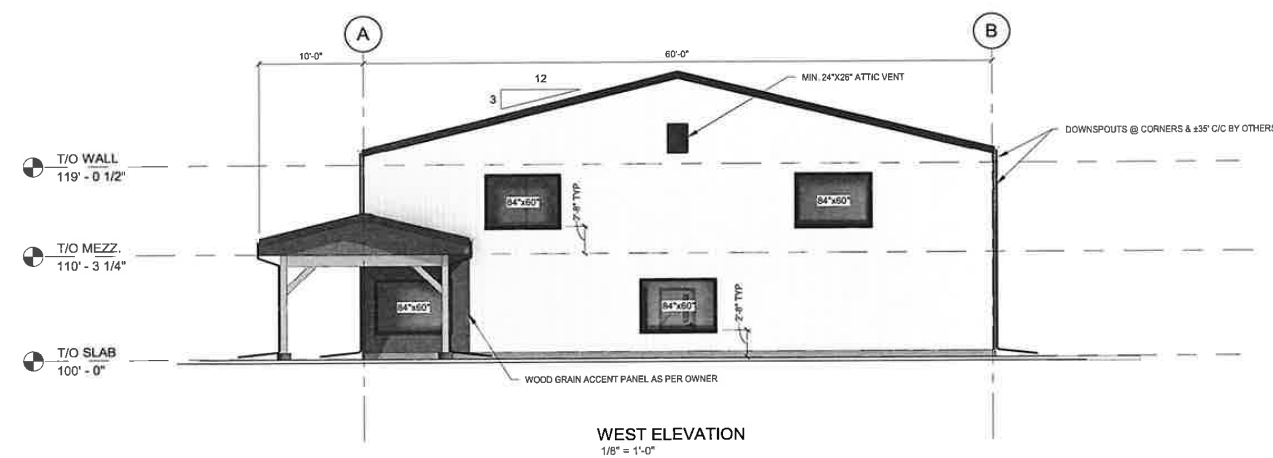
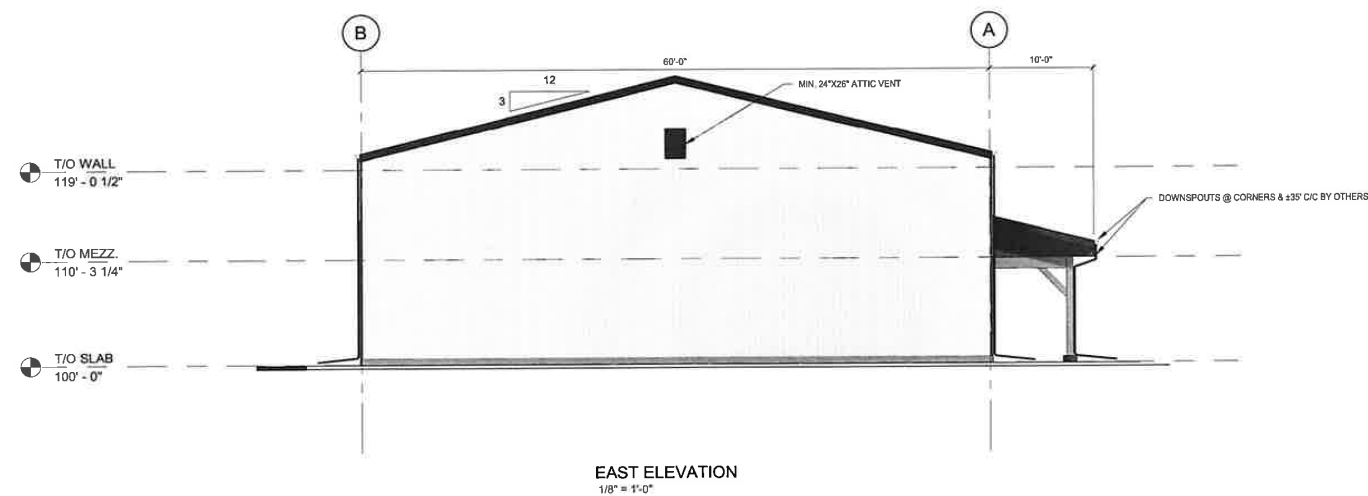
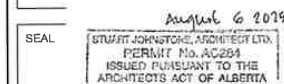
33'-0 3/8"

60'-0"

- 1)** Except as provided in Sentence (2), the unobstructed vent area shall be not less than 1/300 of the insulated ceiling area.
- 2)** Where the roof slope is less than 1 in 6 or in roofs that are constructed with roof joists, the unobstructed vent area shall be not less than 1/150 of the insulated ceiling area.
- 3)** Required vents may be roof type, cave type, gable-end type or any combination thereof, and shall be distributed
 - a) uniformly on opposite sides of the building,
 - b) with not less than 25% of the required openings located at the top of the space, and
 - c) with not less than 25% of the required openings located at the bottom of the space.
- 4)** Except where each joist space is separately vented, roof joist spaces shall be interconnected by installing purlins not less than 38 mm by 38 mm on the top of the roof joists.
- 5)** Vents shall comply with CAN3-A93-M, "Natural Airflow Ventilators for Buildings."

MARK	DIAMETER	EMBEDMENT	TYPE
AR1	7/8"	12"	C
AR2	1"	24"	B

NOTES:
- ALL DIMENSIONAL LUMBER TO BE SPF NO. 1/2 OR BETTER

[illegible]

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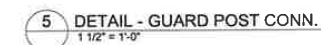
PROJECT 60'X140' SHOP

TITLE	ELEVATIONS
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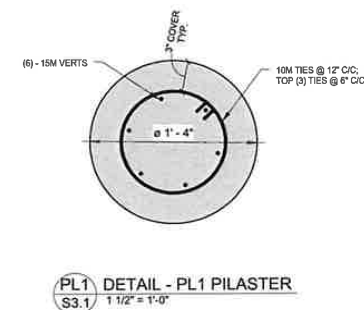
CLIENT
FRANZ PETERS

DRAWN BY NG	CHECKED BY JE	DATE 25/08/01
SCALE (@ A1) 1/8" = 1'-0"	PROJECT NUMBER 25-45-001	
DRAWING NUMBER S3.2		REVISION

2025-08-01 5:41:42 PM

[illegible]

DRAWN BY NG	CHECKED BY JE	DATE 25/08/01
SCALE (@ A1) As indicated	PROJECT NUMBER 25-45-001	
DRAWING NUMBER S5.1		R

[illegible]

ANNO DOMINI
ENGINEERING LTD.

PROJECT 60'X140' SHOP

TITLE	FOUNDATION DETAILS
-------	--------------------

CLIENT **FRANZ PETERS**

DRAWN BY NG	CHECKED BY JE	DATE 25/08/01
SCALE (@ A1) As indicated	PROJECT NUMBER 25-45-001	
DRAWING NUMBER S6.1		REV 3

2025-08-01 5:41:42 PM



Lethbridge County Development Permit - ****DRAFT****

Pursuant to Land Use Bylaw No. 24-007

Development Permit No: 2025-183

Applicant: Franz Peters, 210036 Township Road 102, Lethbridge County, ALBERTA, T1J 5P7

In Works Respecting of: Single-Detached Site-Built Dwelling (2622 sq. ft. main, 617 sq. ft. 2nd), Attached Garage (1888 sq. ft.), Two (2) Covered Patios (236 sq. ft., 1157 sq. ft.), and a Height Waiver; Building and Trade Contractor Services Shop (Cabinetry - 8400 sq. ft. main, 1510 sq. ft. 2nd) with Lean-To (405 sq. ft.)

On land located at: Q:SE S:1 T:9 R:21 M:W4 L:6 B:1 P:TBD (Municipal Address TBD as per Subdivision 2025-0-003) and as described on plans submitted by the applicant.

This permit refers only to works outlined in Development Application No. 2025-183 and **is subject to the conditions contained herein:**

- The Approved Works shall be located as per the approved site plan.
 - The maximum Dwelling height is waived from 25' to 35'.
- Occupancy shall not be granted until the issuance of the Construction Completion Certificate associated with the road construction to the west of the parcel.
 - Any site access prior to the issuance of the Construction Completion Certificate shall be through the existing access or otherwise County approved approaches.
- Any lighting associated with this development shall be shielded and downcast so as not to generate a nuisance.
- The parcel shall be graded as per the submitted plan as approved by Lethbridge County, within twenty-four (24) months of the issuance of this permit.
- The parcel shall be landscaped within **twenty-four (24)** months of the issuance of this permit.
- Any use other than that approved by this development permit shall require a new development permit.
- Approval of all relevant Safety Code Permits (includes Building, Electrical, Plumbing, Gas, and Private Sewage Disposal Systems) must be obtained prior to commencement. Safety Code Permits are obtained through **Park Enterprises Ltd**, #10, 491 W.T. Hill Blvd. South, Lethbridge. Phone - (403) 329-3747.
- Any planned work in the County right-of-way (driveway, approaches, etc.) requires separate approval from the Lethbridge County Operations Department (call 403-328-5525).



Lethbridge County Development Permit - ****DRAFT****

Pursuant to Land Use Bylaw No. 24-007

INFORMATIVE: *Alberta Transportation and Economic Corridors has provided comment on this application, stating that a Roadside Development Permit is required for the works described in this permit. See attached correspondence for details.*

INFORMATIVE: *Building placement must comply with the approved subdivision layout referenced in Subdivision 2025-0-003, subject to final endorsement.*

Date of Decision: October 16, 2025, as approved by County Council (Resolution X)

The above-mentioned permit is not subject to an appeal period under section 685(4)(a) of the Municipal Government Act.

Signed

Coordinator, Planning and Development



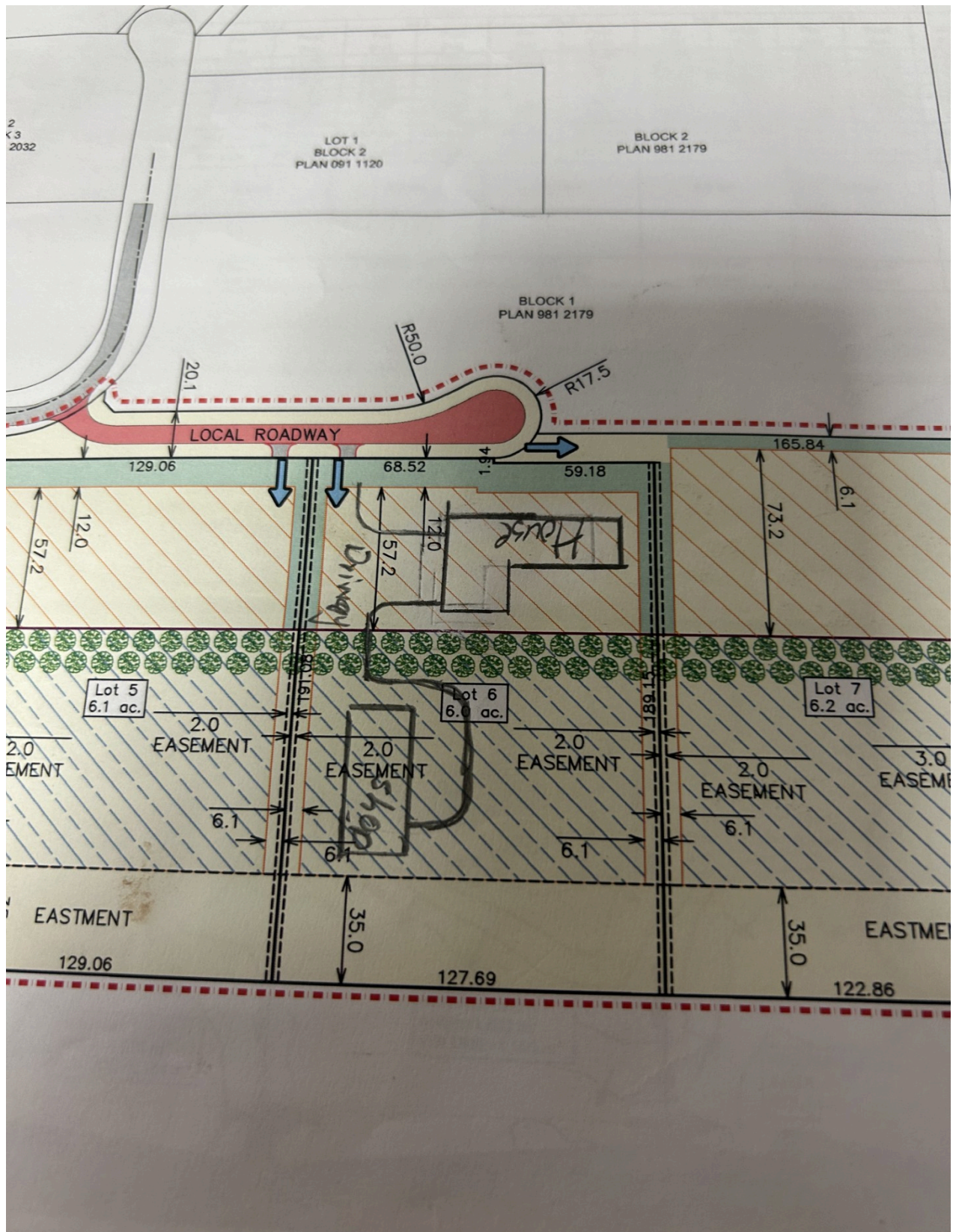
Lethbridge County Development Permit - ****DRAFT****

Pursuant to Land Use Bylaw No. 24-007

Important:

The development outlined above is subject to the following conditions:

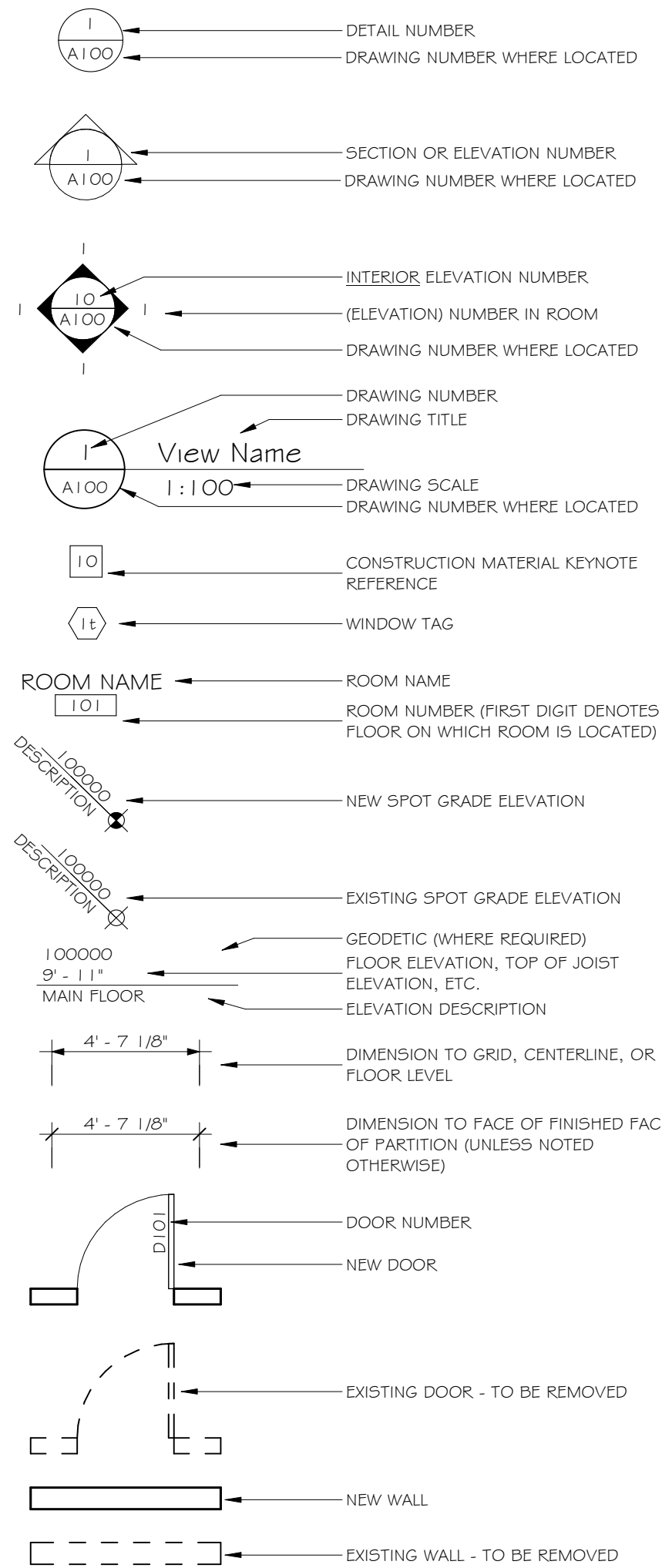
- (a) No development authorized by the issuing of a permit shall commence until at least 21 days after the date of decision of the permit in accordance with section 686 of the Municipal Government Act, or if an appeal is made until the appeal is decided upon. Any development commencing prior to the appeal period expiration, or an appeal decision being made is entirely at the risk of the applicant, developer, or landowner.
- (b) The approval of this Development Permit does not remove the need to obtain any Safety Code Permits (including Building, Plumbing, Gas, Electrical, and Private Sewage) or approval required by any federal, provincial, or municipal legislation, and/or regulations.
- (c) This permit, issued in accordance with the Notice of Decision, is valid for a period of twenty-four (24) months from the date of issue. If, at the expiry of this period, the development has not been commenced or carried out with reasonable diligence, this permit shall be null and void.
- (d) If this development permit is issued for construction of a building, the exterior of the building, including painting, shall be completed within twenty-four (24) months from the date of issue of this development permit unless otherwise authorized in the conditions of a development permit.
- (e) The Development Officer may, in accordance with section 645 of the Municipal Government Act, take such action as is necessary to ensure that the provisions of this bylaw are complied with.
- (f) Amendment of a development permit application or approval after a decision has been issued by the Development Authority is not permitted except for minor modifications at the discretion of the Development Authority. Any increase in footprint, use-intensity, setback encroachments, etc. shall require a new development permit. Modification requests must be received within 30 days of the issuance of the development permit, otherwise, a new development permit application is required and will be processed anew. Additional information on Minor Modifications can be found in Part 1, Section 47 of the Land Use Bylaw No. 24-007.



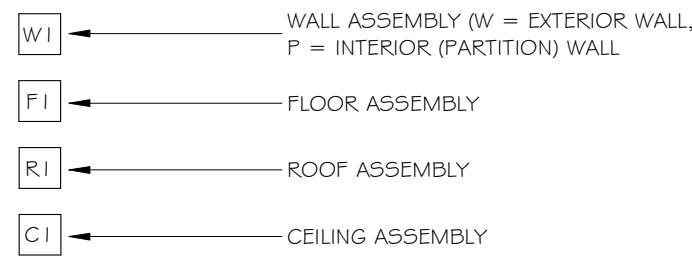
GENERAL NOTES:

- THE FOLLOWING NOTES APPLY TO ALL CONSTRUCTION DOCUMENTS
- GENERAL CONTRACTOR (GC) TO BE COVERED UNDER THE NEW HOME WARRANTY PROGRAM.
- GC TO COVER FULL BUILDER'S RISK COVERAGE IN BOTH THE GC'S AND THE CLIENTS NAMES.
- GC TO PROVIDE SAMPLES FOR ANY PRODUCTS THAT ARE SUBSTITUTED FOR THOSE SPECIED IN THE GENERAL SCOPE OF WORK AND/OR SHOWN ON THE CONSTRUCTION DOCUMENTS.
- GC AND ALL SUBCONTRACTORS (SC) ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT MUST COMPLY WITH ALL MUNICIPAL BYLAWS AND ALL APPLICABLE BUILDING CODES, SPECIFICALLY THE BRITISH COLUMBIA BUILDING CODE 2024 AND ALL ITS UPDATED SECTIONS.
- GC/BUILDER IS RESPONSIBLE FOR MAINTAINING A CLEAN AND SAFE SITE FREE OF DEBRIS AT ALL TIMES. ALL DEBRIS TO BE REMOVED BY GC/BUILDER.
- CONTRACTORS TO VISIT SITE, VERIFY AND FAMILIARIZE THEMSELVES WITH EXISTING SITE CONDITIONS DURING TENDER PROCESS.
- GC OF ANY OF HIS/HER SUBTRADES IS REQUESTED TO REPORT AY DISCREPANCIES IN INFORMATION PROVIDED BY THESE CONSTRUCTION DOCUMENTS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL ONLY MAKE CHANGES TO THE DESIGN OR MATERIALS SPECIFIED UPON WRITTEN APPROVAL FROM THE ARCHITECT AND/OR OWNERS CONSULTANT.
- SUBCONTRACTORS SHALL PROTECT ALL WORK AND MATERIALS OF OTHER TRADES WHILE PERFORMING WORK.
- ALL WORK SHALL BE DONE THE HIGHEST POSSIBLE STANDARDS.
- ANY DAMAGED TO THE BUILDING OR PREMISES CAUSED BY THE CONTRACTOR OR HIS/HER EMPLOYEE(S) OR SC'S SHALL BE REPAIRED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE.
- CONTRACTOR TO RETAIN ALL LEFTOVER FINISHES AND TURN THEM OVER THE OWNER AT THE COMPLETION OF THE PROJECT (IE. PAINT, CARPET, WALL COVERING, ETC.)
- CONTRACTOR NOT TO COMMENCE WORK UNTIL RECEIPT OF BUILDING PERMIT TO ENSURE TOTAL COMPLIANCE WITH ALL APPLICABLE CODES.
- ALL SURFACES AFFECTED BY CONSTRUCTION MUST BE MADE GOOD.
- ALL MATERIALS TO BE DELIVERED AND STORED IN ORIGINAL PACKAGING IN A DRY PROTECTED AREA AND AS PER MANUFACTURERS INSTRUCTIONS. DELIVERY AND STORAGE MATERIAL TO BE COORDINATED WITH THE CLIENTS, IF REQUIRED.
- ALL MATERIALS TO BE ORDERED WHEN THE CONSTRUCTION CONTRACT IS AWARDED. AT THIS TIME, THE CONTRACTOR IS TO CONFIRM THAT ALL DELIVERIES WILL MEET CONSTRUCTION SCHEDULE.
- ENGINEER DESIGN AND SPECIFICATIONS TAKE PRECEDENT OVER SPECIFICATIONS AND DESIGN CONTAINED IN THESE ARCHITECTURAL DRAWINGS.
- ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS WRITTEN INSTRUCTIONS.

DRAWING REFERENCE SYMBOLS



CONSTRUCTION ASSEMBLY SYMBOLS



WALL NOTES:

- CONTRACTOR SHALL SUPPLY AND INSTALL ADDITIONAL BLOCKING TO PROVIDE SUITABLE SUPPORT AND FASTENING FOR WALL-MOUNTED CABINETS, COUNTERS, CLOSET SHELVING, FURNITURE ETC. AS INDICATED ON DRAWINGS.
- IN AREA SUBJECT TO WATER DAMAGE AND/OR WALLS WHICH ARE TO RECEIVE TILE, SUBSTITUTE GYPSUM BOARD WITH 1/2" CEMENT BOARD.
- FOR REINFORCING OF CONCRETE BLOCK REFER TO STRUCTURAL DRAWINGS OTHERWISE
- CONCRETE BLOCK AND BRICK SHALL BE RUNNING BOND COURSING UNLESS NOTED OTHERWISE
- FOR DETERMINATION OF EXTERIOR BRICK TYPES REFER TO ELEVATIONS AND DETAILS
- EXTERIOR BRICK JOINTS SHALL BE CONCAVE TOOLED JOINTS
- REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS OF STRUCTURAL STEEL COMPONENTS (COLUMNS ETC.) BUILT INTO MASONRY WALLS
- ALL EXTERIOR WALLS TO EXTEND TO U/S OF FLOOR OR TRUSS UNLESS NOTED OTHERWISE
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE-TREATED.
- 6 MIL POLY VAPOUR BARRIER TO CONFORM TO BUILDING CODE AND BE CSA-APPROVED.
- ALL HOLES IN VAPOUR BARRIER FOR PIPING, ELECTRICAL, MECHANICAL PENETRATIONS ETC. ARE TO BE SEALED WITH CAULKING, TAPE OR BY OTHER APPROVED METHODS.
- WRAP ALL WINDOW SILL/JAMBS WITH SELF-ADHERING FLEXIBLE WATERPROOF MEMBRANE, PROVIDE 4" OVERLAP INSIDE AND OUTSIDE OF FRAMING.
- INSULATE ALL ABOVE-GRADE EXTERIOR WALLS TO A MINIMUM R24 LEVEL.

INTERIOR PARTITION NOTES:

- ALL INTERIOR PARTITIONS SHALL BE FULL HEIGHT FROM FLOOR TO U/S OF FLOOR OR TRUSS UNLESS NOTED OTHERWISE
- ALL WALL FIRE SEPARATIONS ARE CONTINUOUS FROM FLOOR TO UNDERSIDE OF FLOORS ABOVE OR TO UNDERSIDE OF ROOF DECK. FIRE STOP AT TOP OF WALL
- FOR LOCATIONS OF FIRE RATED PARTITIONS, REFER TO FLOOR PLANS
- FIRESTOP AND SMOKE SEAL THE CONNECTION OF ALL FIRE RATED WALLS WHERE IT IS CONNECTED TO THE U/S OF DECK AND AT DUCT/PIPE PENETRATIONS
- FIRESTOP AND SMOKE SEAL ALL RATED WALL ASSEMBLIES AT STRUCTURAL AND MECHANICAL PENETRATIONS
- ALL FIRE STOP METHODS, MATERIALS, SYSTEMS, TESTING DATA ETC. THAT WILL BE USED TO ADDRESS VARIOUS FIRESTOPPING CONDITIONS SHALL BE SUBMITTED TO THE SATISFACTION OF THE AUTHORITIES HAVING JURISDICTION AND ARCHITECT.
- PROVIDE 19MM FIRE RATED PLYWOOD PANELS AT BACKSIDE OF ELECTRICAL PANELS

FLOOR NOTES:

- PROVIDE CROSS BRACING TO ALL JOINTS AT A MAX. SPACING OF 6'-0".
- PROVIDE SOLID BLOCKING IN FLOOR SPACE BENEATH ALL POSTS TO PROVIDE CONTINUOUS SUPPORT TO APPROVED BEARING POINTS.
- PROVIDE JOINT-HANGERS AT ALL JOISTS FRAMING INTO SIDES OF WOOD BEAM, TRIMERS, HEADERS, AND OTHER STRUCTURAL INTERSECTIONS AS SPECIFIED BY FLOOR SYSTEM ENGINEERING DRAWINGS.
- DOUBLE ALL FLOOR JOISTS UNDER PARTITIONS WHICH RUN PARALLEL TO FLOOR JOISTS.
- CONTRACTOR TO PROTECT ALL FINISHED FLOOR AREAS WITH 6 MIL POLYPROPYLENE OR CARDBOARD.
- THE GENERAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL FLOORING FINISHES AS PER MANUFACTURERS SPEC.
- FLOORING MATERIALS TO BE INSTALLED PRIOR TO INSTALLATION OF BASEBOARDS.
- ENSURE SUBFLOOR IS CLEAN AND GOOD PRIOR TO INSTALLING FINISH.
- ENSURE FLUSH FINISH WITH ALL FLOORING.
- CONTRACTOR TO SUBMIT MANUFACTURER'S ENGINEERED FLOOR JOIST DRAWINGS TO CITY INSPECTOR.

ROOF NOTES:

- PROVIDE A MINIMUM OF 2-1/2" AIRSPACE BETWEEN THE UNDERSIDE OF THE ROOF SHEATHING AND THE TOP OF THE INSULATION ALONG THE FULL LENGTH OF THE TRUSSES.
- PROVIDE ROOF VENTS TO ACHIEVE 1 SQ.FT. OF VENTILATION FOR EVERY 150 SQ.FT. OF ROOF AREA.
- PROVIDE ICEWATERSHIELD TO A MINIMUM 6'-0" HORIZONTALLY PAST INSIDE SURFACE OF EXTERIOR WALLS.
- PROVIDE SELF-ADHERING FLEXIBLE WATERPROOFING MEMBRANE AT ALL WALL-ROOF, ROOF-ROOF JUNCTIONS.
- PROVIDE METAL FLASHING AT ALL WALL-ROOF, ROOF-ROOF JUNCTIONS.
- PROVIDE MEMBRANE-TYPE GASKETS AT ALL ROOF PENETRATIONS.
- INSULATE ALL ROOFS TO A MINIMUM R40 LEVEL
- ROOF TRUSSES TO BE PRE-FABRICATED AND PRE-ENGINEERED. CONTRACTOR TO SUBMIT PRE-ENGINEERED TRUSS DRAWINGS TO CITY INSPECTOR.

WALL ASSEMBLIES

- W1 8" CONCRETE w/ REBAR AS PER ENGINEERS SPECIFICATIONS
- W1a ACRYLIC PARGING ABOVE GRADE TO 6" BELOW GRADE
DRAINAGE MAT
WATERPROOFING MEMBRANE
8" CONCRETE w/ REBAR AS PER ENGINEERS SPECIFICATIONS
- W4 1" STONE VENEER
SHEATHING MEMBRANE
1/2" PLYWOOD SHEATHING
2x6 SPF STUDS @ 16" o.c.
BATT INSULATION (R24)
6MIL POLY AIRVAPOUR BARRIER
1/2" GYPSUM BOARD
- W5 BOARD & BATTEN CEMENT BOARD SIDING
SHEATHING MEMBRANE
1/2" OSB SHEATHING
2x6 SPF STUDS @ 16" o.c.
BATT INSULATION (R24)
6MIL POLY AIRVAPOUR BARRIER
1/2" GYPSUM BOARD

FLOOR ASSEMBLIES

- F1 4" CONCRETE SLAB (25MPa) c/w #10M REBAR REINFORCING @ 24" o.c. EACH WAY
3 1/2" RIGID INSULATION
6 MIL POLY VAPOUR BARRIER
6" COMPACTED 3/4" CRUSHED GRAVEL
GEOTECHNICAL PAD
- F1a CONCRETE SEALANT (3 COATS)
4" CONCRETE SLAB (32MPa) c/w #10M REBAR REINFORCING @ 16" o.c. EACH WAY
3 1/2" RIGID INSULATION
6 MIL POLY VAPOUR BARRIER
6" COMPACTED 3/4" CRUSHED GRAVEL
UNDISTURBED SOIL SUBGRADE
- F2 FINISH AS PER SPECIFIED
3/4" TONGUE & GROOVE OSB SHEATHING GLUED & SCREWED
16" OPEN WEB FLOOR JOISTS AS PER MANUFACTURER'S SPECIFICATION
1/2" GYPSUM BOARD CEILING
- F2a FINISH AS PER SPECIFIED
3/4" TONGUE & GROOVE OSB SHEATHING GLUED & SCREWED
16" OPEN WEB FLOOR JOISTS AS PER MANUFACTURER'S SPECIFICATION
BLOWN-IN CELLULOSE INSULATION TO FILL CAVITY (R36 MIN.)
SMART AIRVAPOUR BARRIER
1/2" GYPSUM BOARD CEILING

ROOF ASSEMBLIES

- R2 ASPHALT SHINGLES
PEEL & STICK ROOF UNDERLAYMENT
5/8" OSB SHEATHING
ROOF TRUSSES AS PER MANUFACTURER'S SPECIFICATION
2 1/2" CONTINUOUS VENT BATTLE
BLOWN-IN CELLULOSE INSULATION (R60)
6 MIL POLY AIRVAPOUR BARRIER
1/2" GYPSUM BOARD CEILING
- R2a STANDING SEAM METAL ROOF
HIGH TEMPERATURE PEEL & STICK ROOF UNDERLAYMENT
5/8" OSB SHEATHING
ROOF TRUSSES AS PER MANUFACTURER'S SPECIFICATION
2 1/2" CONTINUOUS VENT BATTLE
BLOWN-IN CELLULOSE INSULATION (R60)
6 MIL POLY AIRVAPOUR BARRIER
1/2" GYPSUM BOARD CEILING
- R4 ASPHALT SHINGLE ROOF
HIGH TEMPERATURE PEEL & STICK ROOF UNDERLAYMENT
5/8" OSB SHEATHING
2x6 LOOKOUT RAFTERS @ 16" o.c.
3/4" VENTED T&G WOOD SOFFIT

PARTITION ASSEMBLIES

- P1 1/2" GYPSUM BOARD
2x4 SPF STUD @ 16" o.c.
1/2" GYPSUM BOARD
- P2 1/2" GYPSUM BOARD
2x6 SPF STUD @ 16" o.c.
1/2" GYPSUM BOARD
- P2a 1/2" GYPSUM BOARD
2x6 SPF STUD @ 16" o.c.
- P3 1/2" GYPSUM BOARD
2x6 SPF STUD @ 16" o.c.
BATT INSULATION (R24)
6 MIL POLY VAPOUR BARRIER
1/2" GYPSUM BOARD
- P4 1/2" GYPSUM BOARD
6 MIL POLY VAPOUR BARRIER
2x4 SPF STUDS @ 16" o.c.
BATT INSULATION (R12 MIN.)
1" RIGID INSULATION (R5 MIN.)

DISCLAIMER
1. ALL DRAWINGS REMAIN THE PROPERTY OF THE ARCHITECT.
2. THIS DESIGN AND/OR DRAWING MAY NOT BE REPRODUCED WITHOUT THE PERMISSION OF THE ARCHITECT.
3. ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED.
4. DO NOT SCALE DRAWINGS.

PRELIMINARY
NOT FOR CONSTRUCTION

1	DESIGN REVIEW	25-08-22
No	DESCRIPTION	DATE
PROJECT 25-002		

PETERS RESIDENCE

COALDALE, AB

LEGAL ADDRESS	
Drawn By	Date (YY-MM-DD)
J5	25-07-23



DRAWING TITLE
REFERENCE SHEET #
GENERAL NOTES

Development Permit
Building Permit
SHEET

AO.0

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DOOR SCHEDULE

No.	LOCATION	NOMINAL SIZE		TYPE	DOOR			TYPE	FRAME		HARDWARE	REMARKS
		WIDTH	HEIGHT		MATERIAL	CORE	FINISH		MATERIAL	FINISH		
D001	COLD STORAGE	2' - 8"	6' - 8"	1 1	FG	INS	PT	D			PASSAGE	
D002	BEDROOM #2, 3, 4 & 5	2' - 8"	6' - 8"	3				D			PASSAGE	
D003	WIC # MECH.	2' - 6"	6' - 8"	3				D			PASSAGE	
D004	BATH #4	2' - 6"	6' - 8"	3				D			PRIVACY	
D005	WIC	4' - 0"	5' - 0"	10				D			DUMMY	
D006	BATH #3	2' - 6"	6' - 8"	4				E			LATCH	
D007	GIM	3' - 0"	6' - 8"	3				D			PASSAGE	
D100	GARAGE	10' - 0"	8' - 0"	1		INS	SPEC	B				
D102	ENTRY	3' - 6"	8' - 0"	2				A			ENTRY	
D103	GARAGE	3' - 0"	6' - 8"	1 1	FG	INS	PT	A			DEADBOLT	
D104	GARAGE TO HOUSE	3' - 0"	6' - 8"	1 1	FG	INS	PT	C			DEADBOLT	SELF CLOSING w/ WEATHERSTRIPPING
D105	DINING	9' - 0"	8' - 0"	9				A			PATIO	
D106	SEWING ROOM, MASTER BEDROOM, LAUNDRY, ENTRY & OFFICE	2' - 8"	8' - 0"	3				D			PASSAGE	
D107	BATH #2	2' - 6"	8' - 0"	3				D			PRIVACY	
D108	ENSUITE & OFFICE	2' - 6"	8' - 0"	3				D			PASSAGE	
D109	PANTRY	2' - 6"	8' - 0"	4				E			PULL	
D110	POWDER	2' - 6"	8' - 0"	4				E			LATCH	
D111	MUDROOM	3' - 0"	6' - 8"	3				D			PASSAGE	
D112	POWDER	2' - 6"	6' - 8"	1 1	FG	INS	PT	D			PRIVACY	SELF CLOSING w/ WEATHERSTRIPPING
D113	GARAGE	6' - 0"	5' - 0"	1		VG	SPEC	B				
D114	SEWING ROOM	5' - 0"	8' - 0"	6				D			PULL	

DOOR NOTES:

- CONTRACTOR TO REFER TO SCHEDULES AND ELEVATIONS FOR DOOR FRAME, GLAZING AND HARDWARE INFORMATION.
- CONTRACTOR TO COORDINATE ALL KEYING REQUIREMENTS WITH CLIENT.
- CONTRACTOR TO COORDINATE INSTALLATION OF ANY SECURITY SYSTEMS REQUIRED BY CLIENT.
- DOORS AND WINDOWS SHALL COMPLY WITH THE REQUIREMENTS OF RESISTANCE TO FORCED ENTRY AS PER CAN A440-M

ABBREVIATIONS

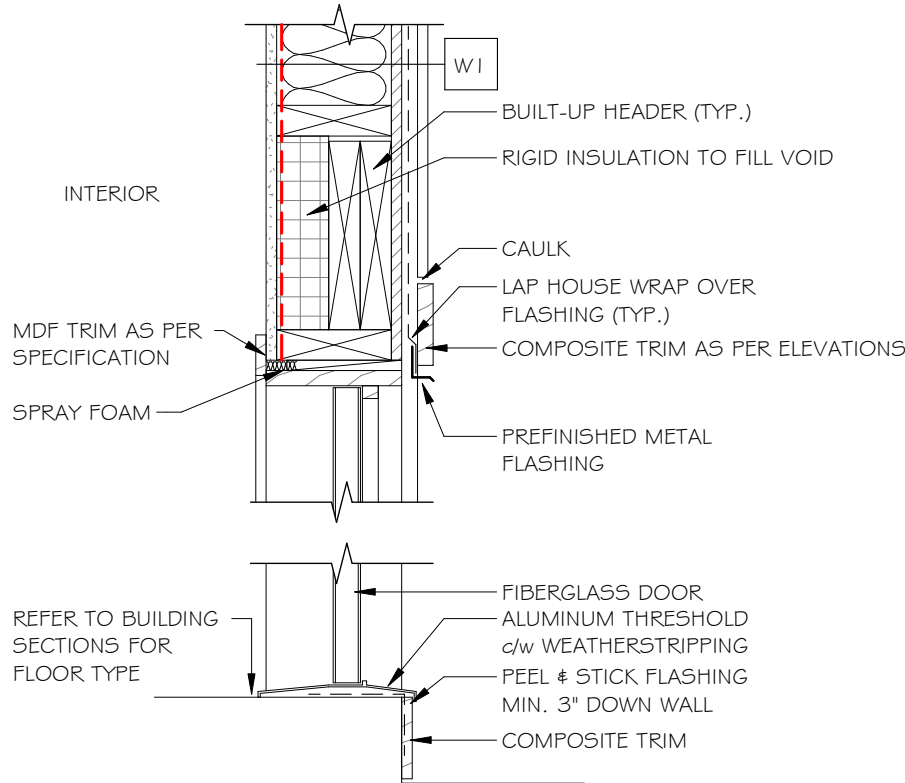
AL	ALUMINUM CLAD
FG	FIBERGLASS
FM	FLUSH & MOLDED WOOD
HC	HOLLOW CORE
HM	HOLLOW METAL
IM	INSULATED METAL
MDF	MDF
PT	PAINT
ST	STAIN
VG	VISION GLASS
WD	WOOD

DOOR HARDWARE

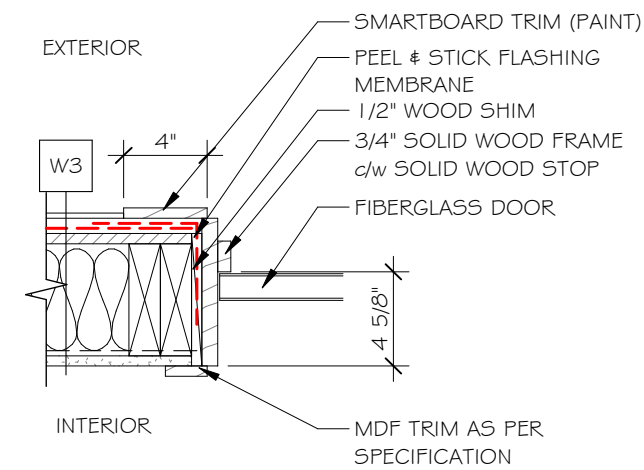
PASSAGE DOOR STANDARD LEVER STYLE PASSAGE SET MATTE BLACK, (PRICING ONLY) STANDARD DUTY 3 PAIR HINGES DOOR STOP	PRIVACY DOOR STANDARD LEVER STYLE PRIVACY SET MATTE BLACK, (PRICING ONLY) STANDARD DUTY 3 PAIR HINGES DOOR STOP
PATIO DOOR HANDLESET BY MANUFACTURER MATTE BLACK, (PRICING ONLY) LOCK SET AND DEAD BOLT MANUFACTURER'S CENTRE HINGES WEATHER-STRIPPING & THRESHOLD	ENTRY DOOR STANDARD ENTRY SET KEYLESS ENTRY DEADBOLT MATTE BLACK, (PRICING ONLY) STANDARD DUTY 3 PAIR HINGES WEATHER-STRIPPING & THRESHOLD
PULL ROUND FINGER PULL MATTE BLACK, (PRICING ONLY)	DEADBOLT STANDARD LEVER STYLE PASSAGE SET DEADBOLT MATTE BLACK, (PRICING ONLY) STANDARD DUTY 3 PAIR HINGES WEATHER-STRIPPING & THRESHOLD
LATCH ROUND POCKET DOOR LATCH w/ PRIVACY LATCH MATTE BLACK, (PRICING ONLY)	

DOOR ROUGH-IN NOTES:

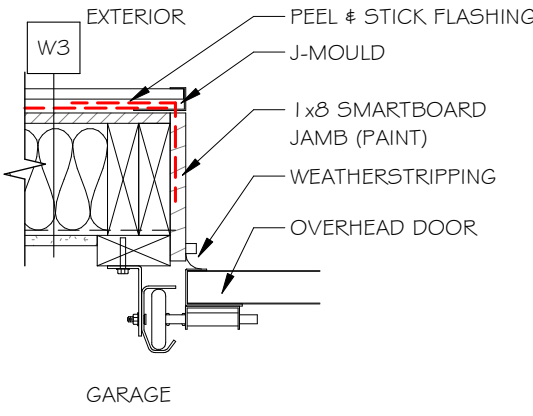
- EXTERIOR DOOR ROUGH-IN PER MANUFACTURER'S SPECIFICATION
- INTERIOR SWING DOOR R.O. = width + 2", height + 2.5"
- BIFOLD DOOR R.O. = width + 2", height + 1.5"
- SLIDING BYPASS DOOR R.O. = width of door x2 + 1", height + 4.5"
- POCKET DOOR R.O. = width of door x2 + 1", height + 4.5"
- BARN DOOR R.O. (DRYWALL OPENING) = width - 2", height equal to door size.
- Solid block above door twice the width of the door for track.
- BARN DOOR R.O. (DOOR JAMB)= width and height equal to door size.
- Solid block above door twice the width of the door for track.



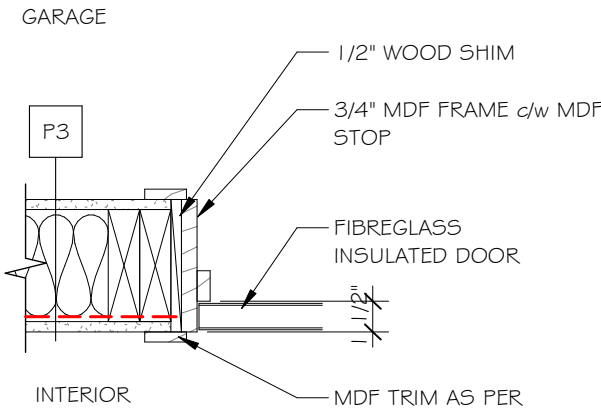
SECTION DETAIL:
ENTRY DOOR HEAD AND THRESHOLD
1 1/2" = 1'-0"



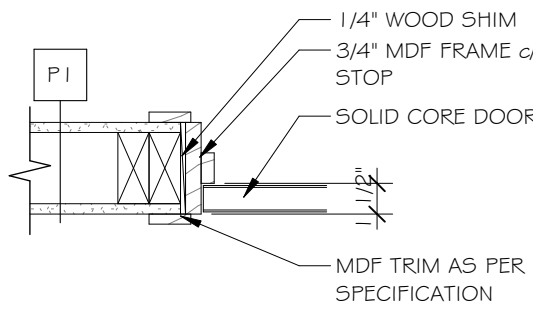
A FIBERGLASS ENTRY DOOR
-TRIM ON TWO SIDES



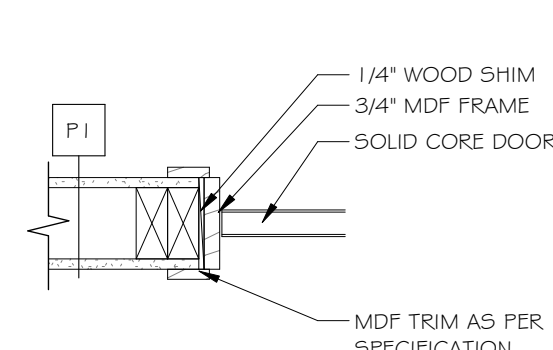
B OVERHEAD DOOR
-TYPICAL OVERHEAD DOOR



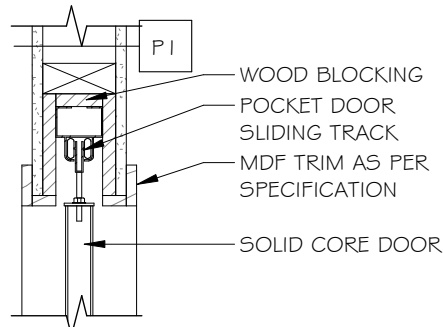
C FIBREGLASS INSULATED DOOR
-TRIM ON TWO SIDES
-BETWEEN GARAGE AND DWELLING



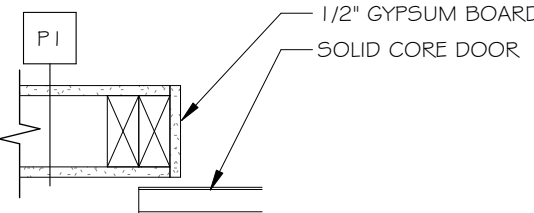
D INTERIOR SOLID CORE
-MDF FRAME
-TRIM ON TWO SIDES
-TYPICAL DOOR TYPE



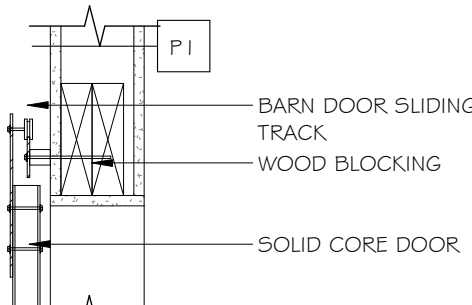
E INTERIOR SOLID CORE WOOD
-MDF FRAME
-TRIM ON TWO SIDES
-POCKET DOOR



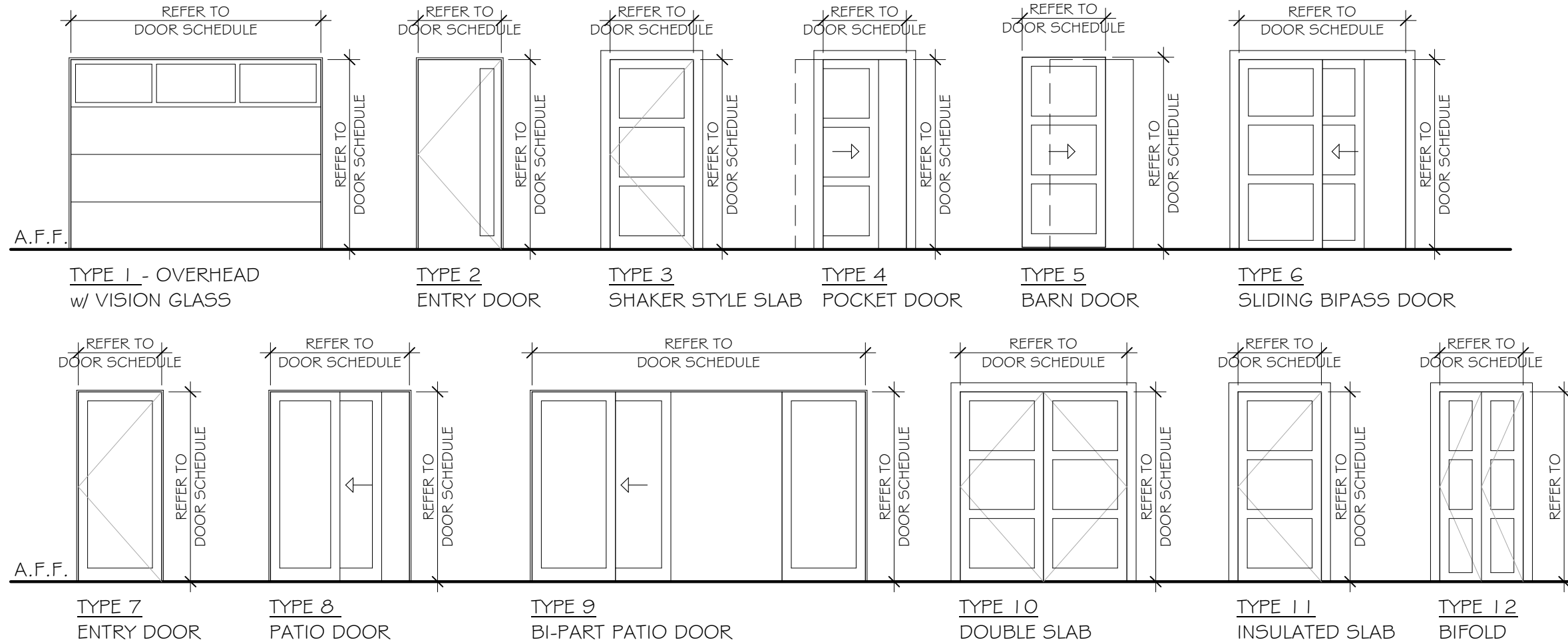
SECTION



F INTERIOR SOLID CORE
-GYPSUM BOARD RETURNS
-BARN DOOR



SECTION



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1 DESIGN REVIEW	25-08-22
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PETERS RESIDENCE

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J5	25-07-23



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DRAWING TITLE
DOOR SCHEDULE

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AO.1

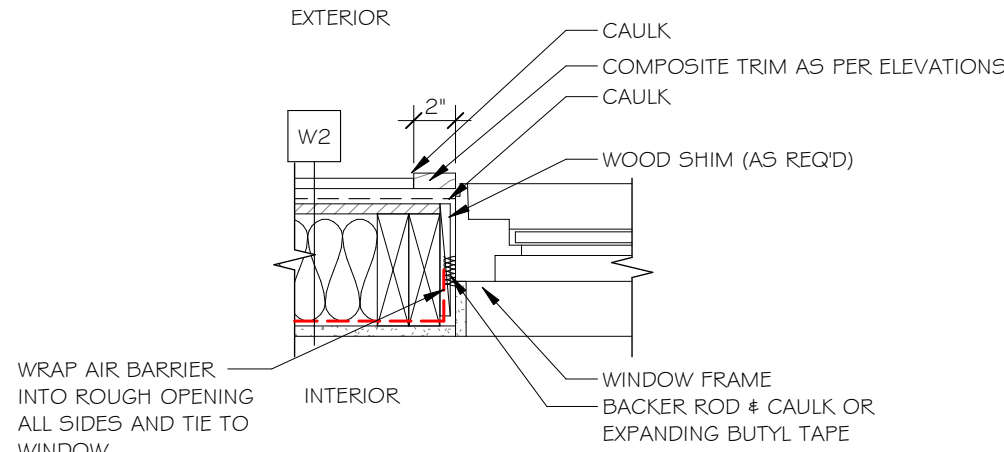
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WINDOW SCHEDULE									
No.	LOCATION	NOMINAL SIZE		TYPE	INTERIOR FRAME		EXTERIOR FRAME		REMARKS
		WIDTH	HEIGHT		MATERIAL	FINISH	MATERIAL	FINISH	
G1	PANTRY & LAUNDRY	2'-0"	4'-2"	FIXED	V	PT-BLACK	AL-V	PT-BLACK	3
G2	STAIRWELL	2'-0"	6'-8"	FIXED	V	PT-BLACK	AL-V	PT-BLACK	3
G3	MASTER BEDROOM & OFFICE	6'-0"	6'-8"	CASIMENT/FIXED	V	PT-BLACK	AL-V	PT-BLACK	2
G4	ENSUITE	7'-0"	7'-4"	FIXED	V	PT-BLACK	AL-V	PT-BLACK	EGRESS WINDOW
G5	SEWING ROOM	2'-4"	9'-4"	FIXED	V	PT-BLACK	AL-V	PT-BLACK	2
G6	LIVING	4'-0"	7'-0"	FIXED	V	PT-BLACK	AL-V	PT-BLACK	3
G7	KITCHEN	6'-0"	5'-0"	FIXED	V	PT-BLACK	AL-V	PT-BLACK	1
G8	HALLROOM	2'-0"	5'-8"	FIXED	V	PT-BLACK	AL-V	PT-BLACK	1
G9	GARAGE	10'-0"	4'-6"	FIXED	V	PT-BLACK	AL-V	PT-BLACK	1
G10	BEDROOM #2, 3, 4 & 5	5'-0"	2'-0"	CASIMENT/FIXED	V	PT-BLACK	AL-V	PT-BLACK	EGRESS WINDOW
G11	GARAGE	6'-0"	5'-0"	FIXED	V	PT-BLACK	AL-V	PT-BLACK	4
G12	BONUS ROOM	10'-0"	2'-6"	FIXED	V	PT-BLACK	AL-V	PT-BLACK	2
G13	ENTRY	6'-0"	6'-0"	SCULITE	V	PT-BLACK	AL-V	PT-BLACK	1
G14	ATTIC	6'-0"	4'-6"	FIXED	V	PT-BLACK	AL-V	PT-BLACK	FALSE WINDOW
G15	SEWING ROOM	2'-0"	5'-4"	CASIMENT	V	PT-BLACK	AL-V	PT-BLACK	EGRESS WINDOW

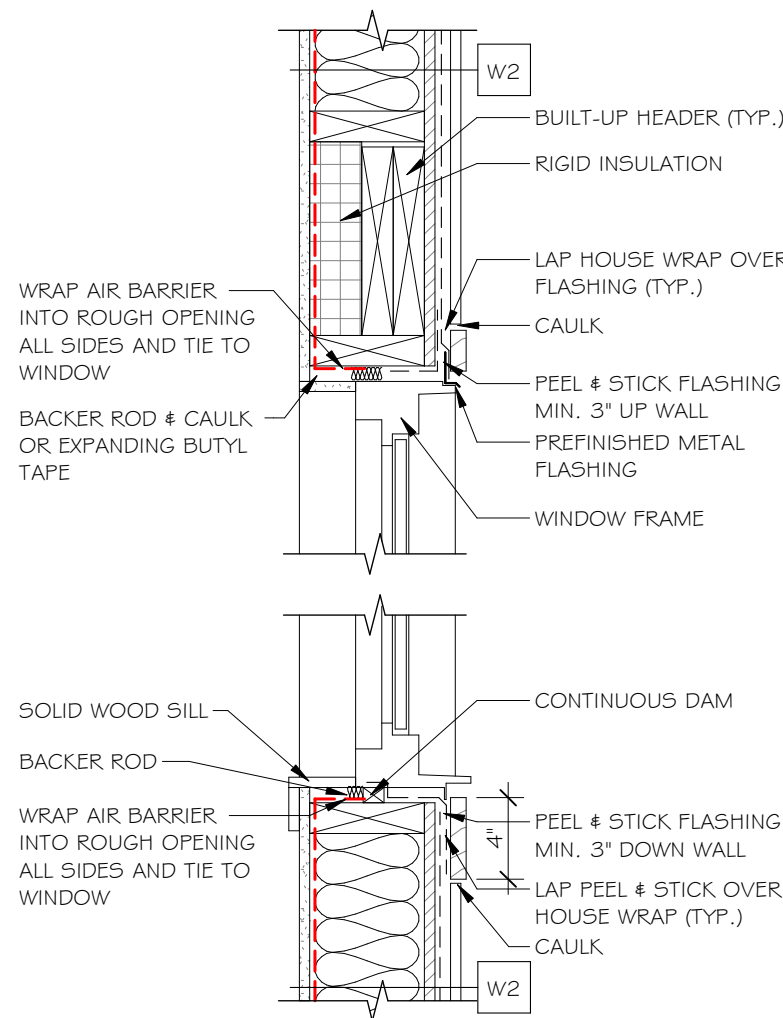
NOTE: ALL WINDOWS TO BE TRIPLE PANE, LOW-E, ARGON FILLED. DRYWALL RETURNS ON ALL INTERIOR JAMBS, SILLS AND WINDOW HEAD AS PER 2/AO.2 UNLESS NOTED OTHERWISE.

ABBREVIATIONS:

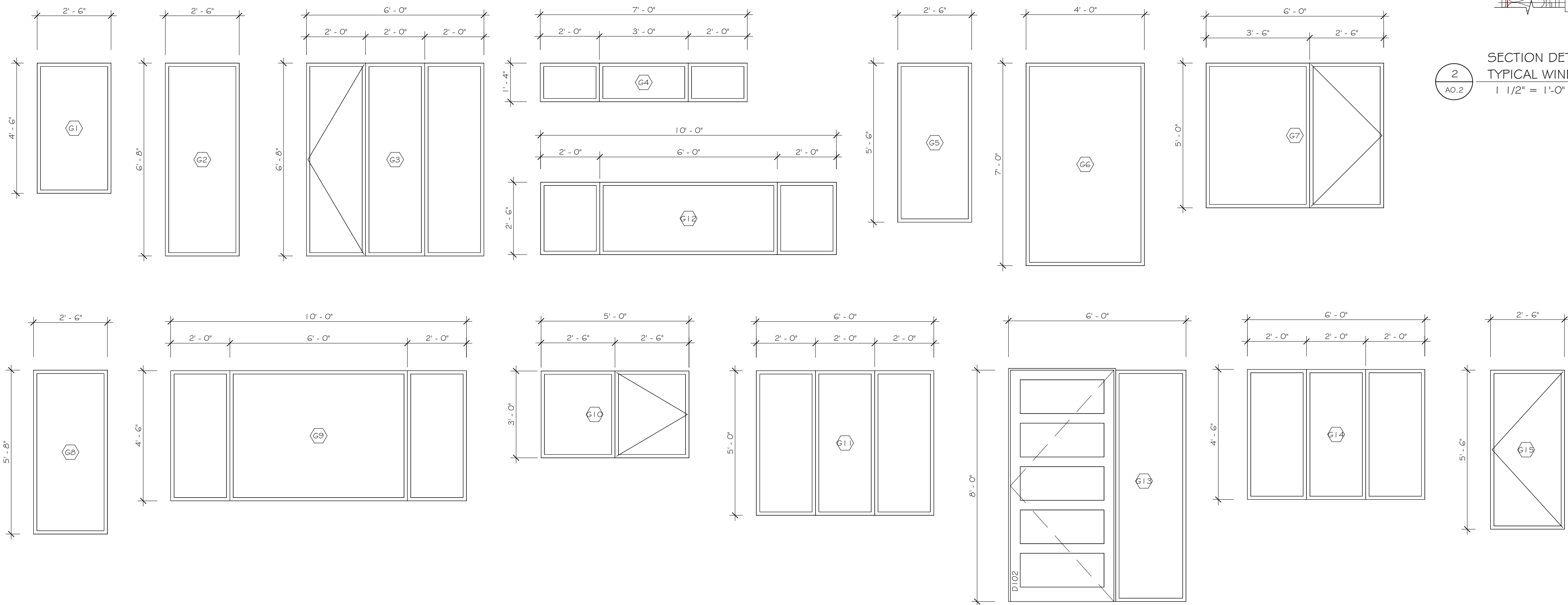
AL ALUMINUM CLAD
DWG REFER TO DRAWINGS
PF PREFINISHED
PT PAINT
SPEC REFER TO SPECIFICATIONS
SS STAINLESS STEEL
ST STAIN
TG TEMPERED GLASS
V VINYL
WD WOOD
WG WIRED GLASS



PLAN DETAIL:
TYPICAL WINDOW JAMB
1 1/2" = 1'-0"



SECTION DETAIL:
TYPICAL WINDOW HEAD AND SILL
1 1/2" = 1'-0"



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No DESCRIPTION DATE
PROJECT 25-002

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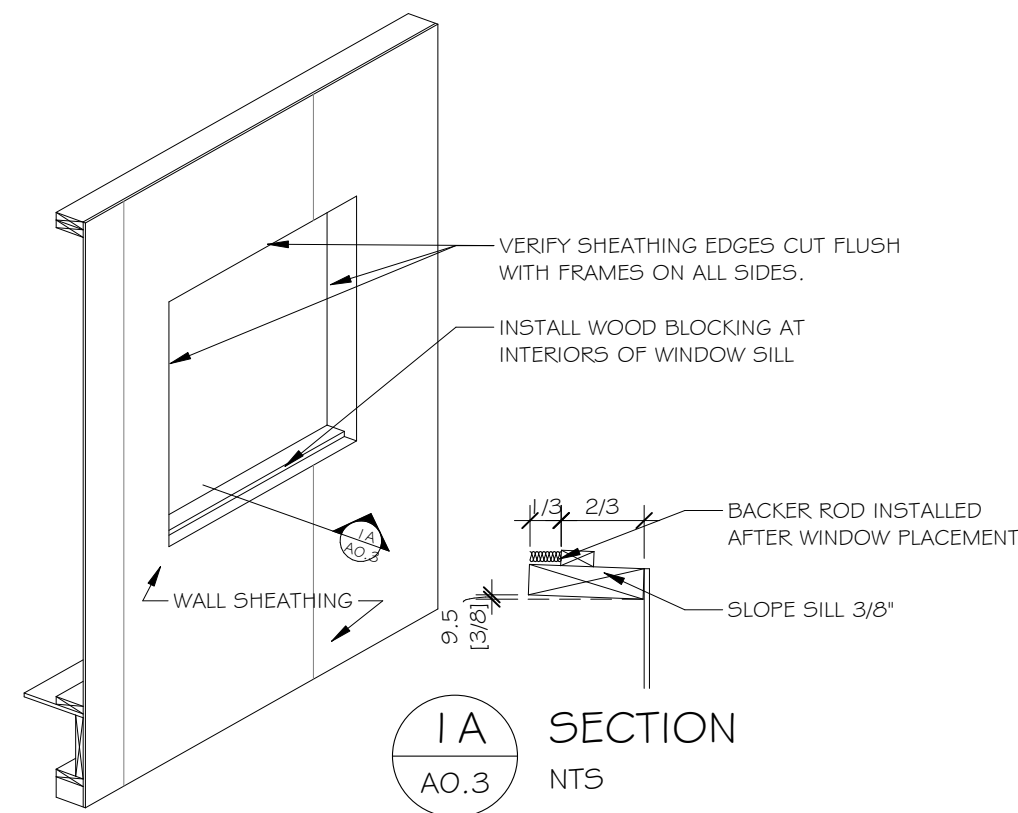
DRAWING TITLE
WINDOW SCHEDULE

Development Permit
Building Permit
SHEET

AO.2

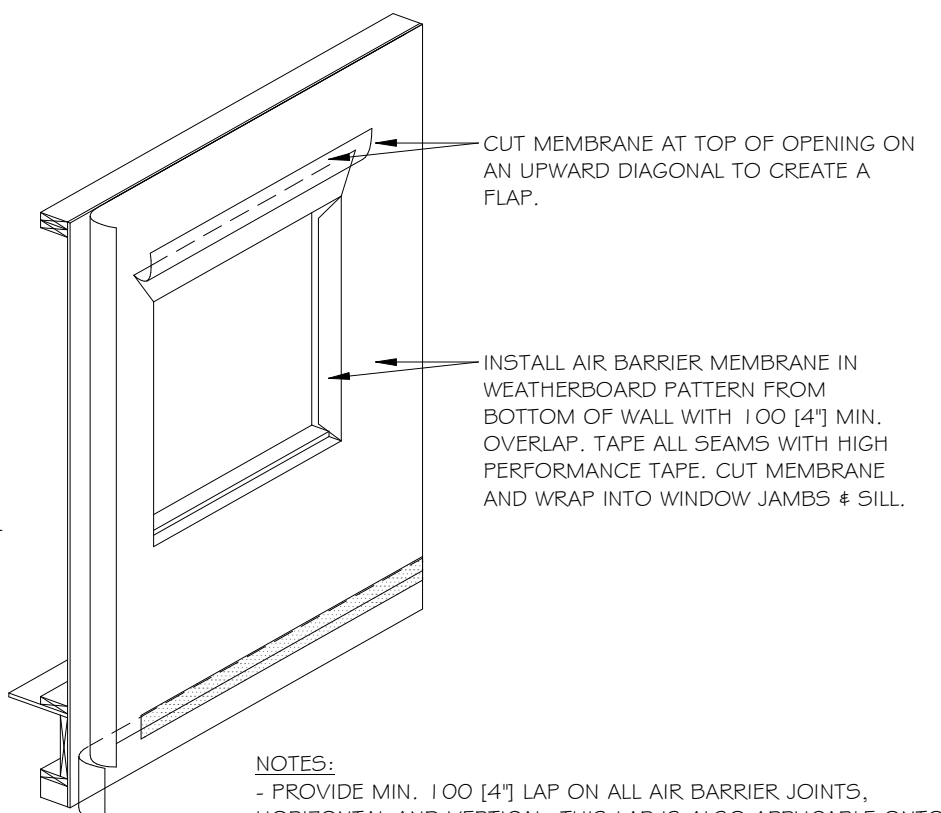
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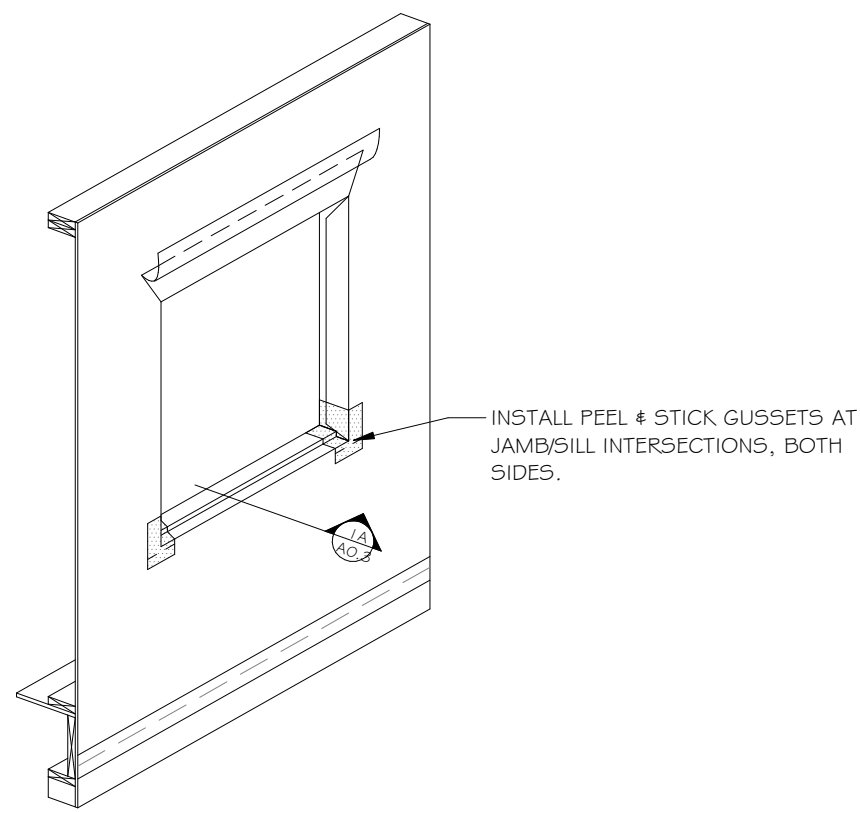
NOTES:
- IN ALL CASES WHEN A PEEL & STICK MEMBRANE IS USED, PRIMER IS TO BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR IS TO ENSURE THAT BRAND OF MEMBRANE IS COMPATIBLE WITH THE HOUSE WRAP USED.

1 STEP 1: WOOD BLOCKING
A0.3 NTS

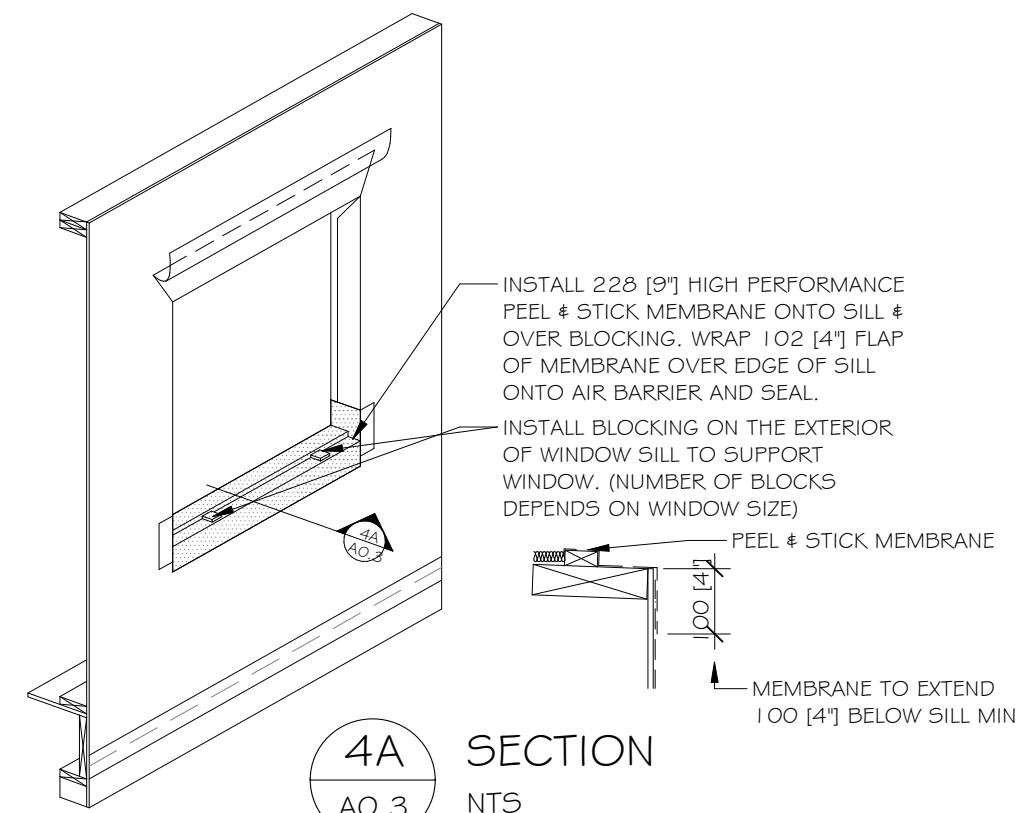


NOTES:
- PROVIDE MIN. 100 [4\"] LAP ON ALL AIR BARRIER JOINTS, HORIZONTAL AND VERTICAL. THIS LAP IS ALSO APPLICABLE ONTO METAL FLASHINGS.

2 STEP 2: FIELD AIR BARRIER
A0.3 NTS

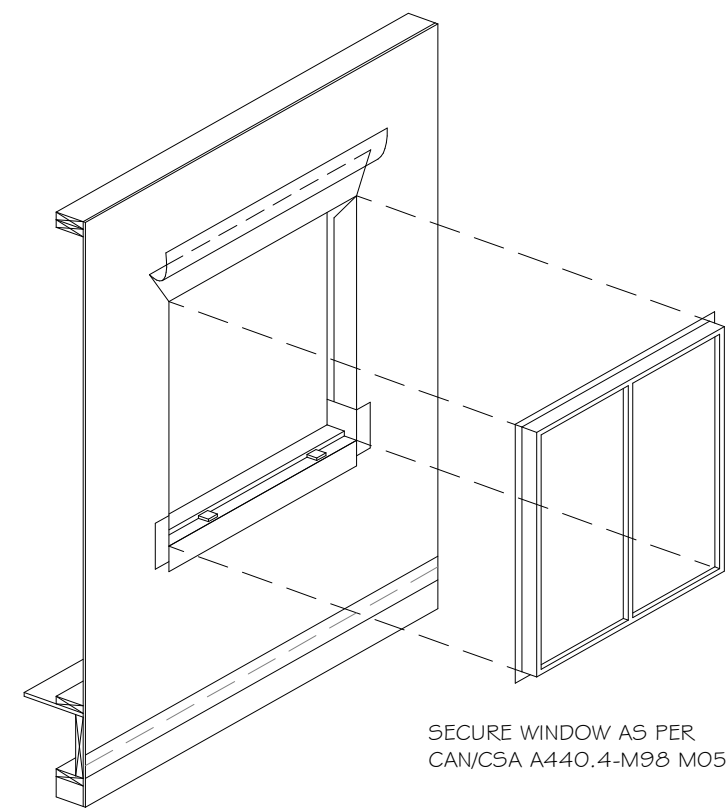


3 STEP 3: PEEL & STICK AT GUSSETS
A0.3 NTS

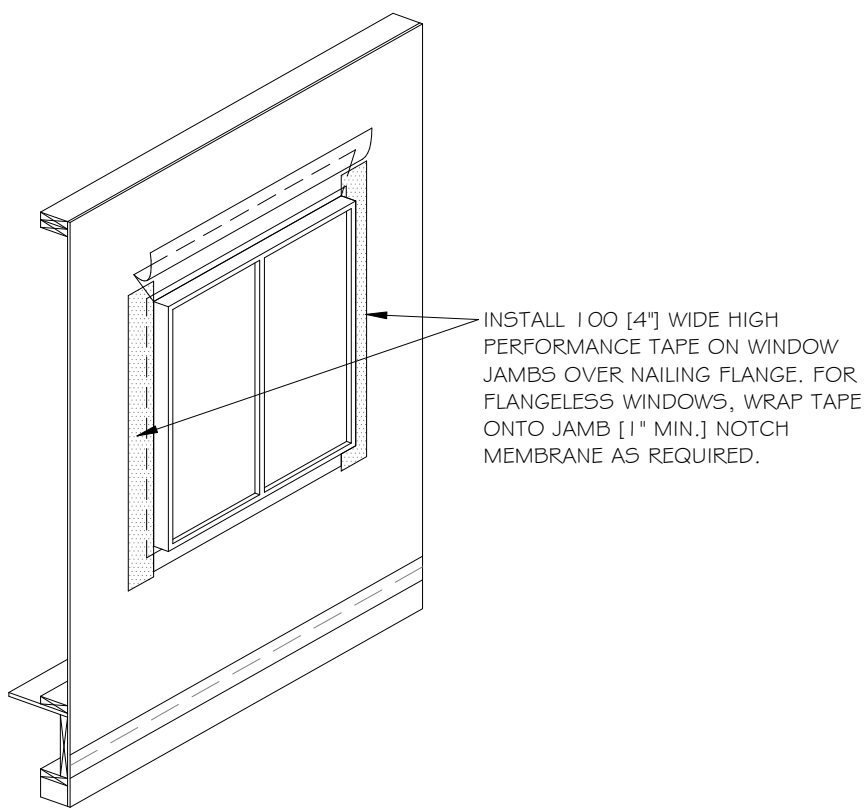


4 STEP 4: INSTALL SILL FLASHING
A0.3 NTS

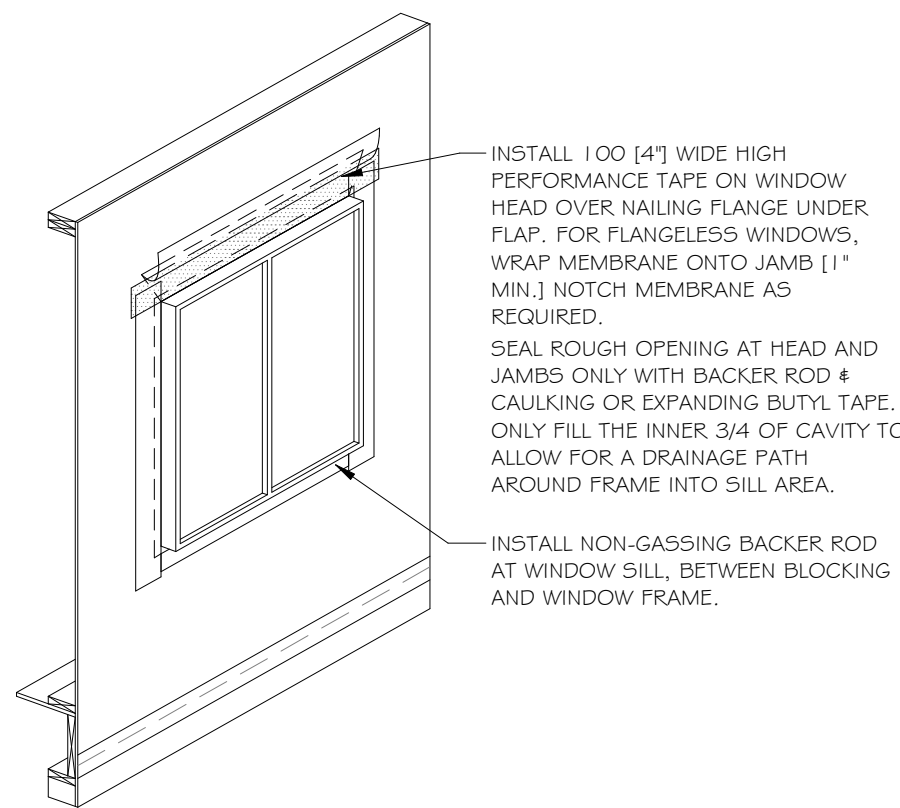
** ALTERNATE TO STEP 3 & 4 IS TO USE FLEXWRAP CONTINUOUS SILL PAN**



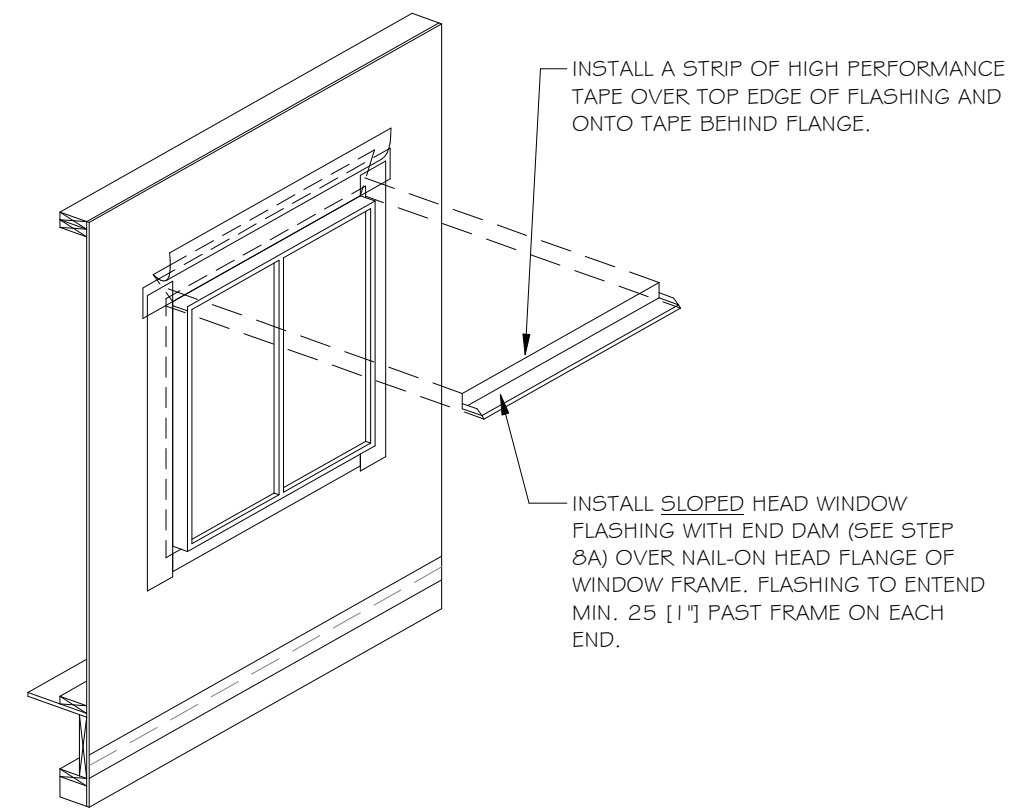
5 STEP 5: INSTALL WINDOW
A0.3 NTS



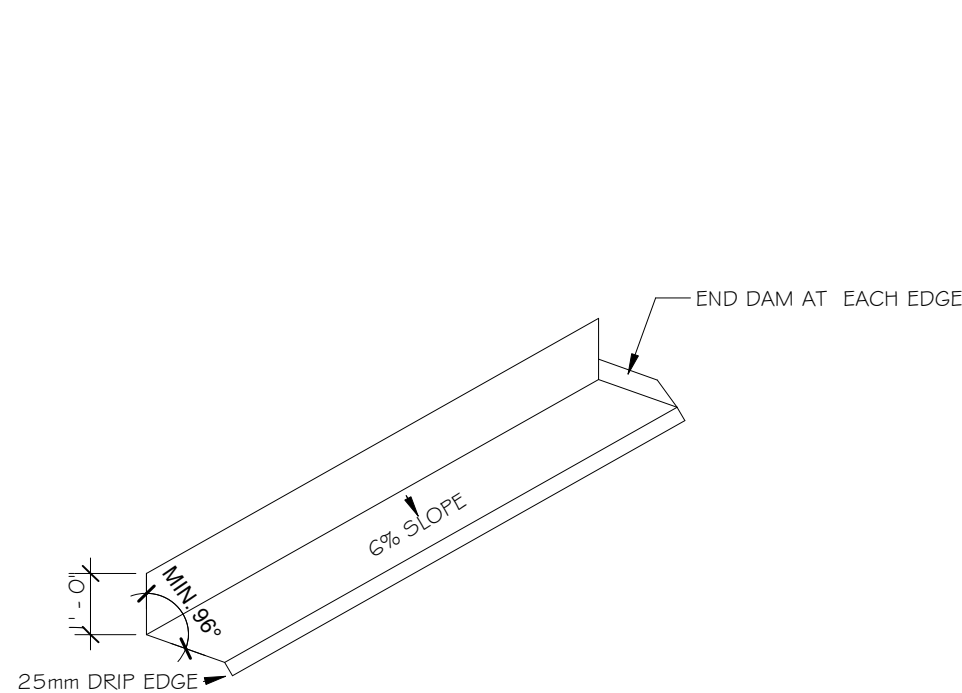
6 STEP 6: JAMB MEMBRANE
A0.3 NTS



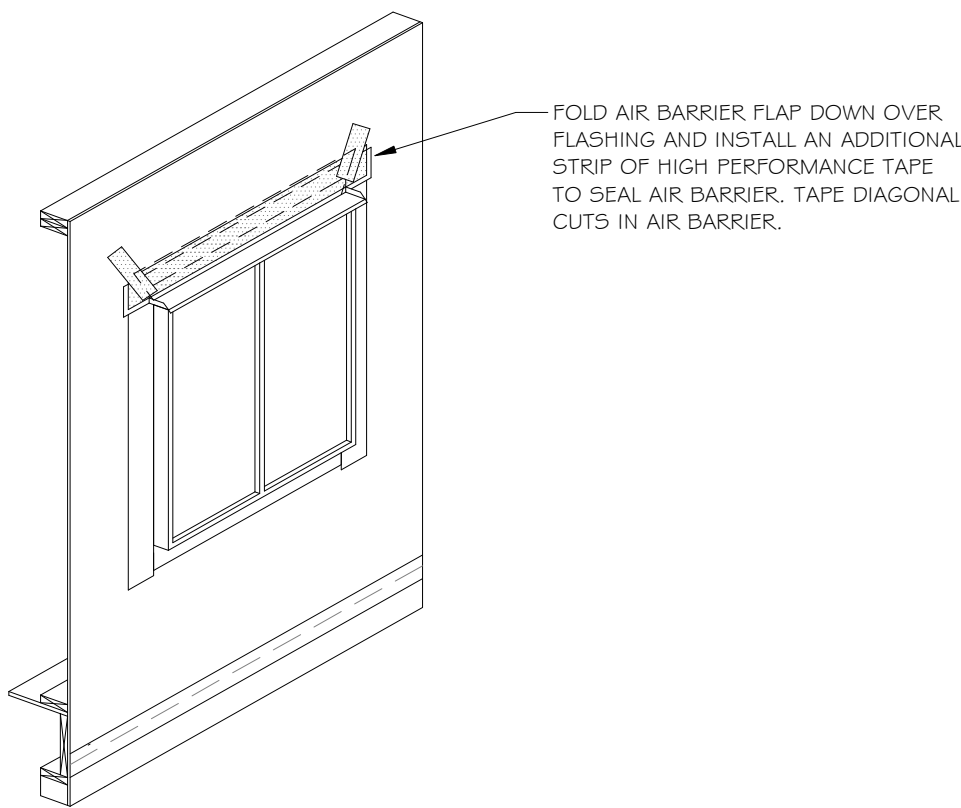
7 STEP 7: HEAD MEMBRANE
A0.3 NTS



8 STEP 8: HEAD FLASHING
A0.3 NTS



8 WINDOW FLASHING
A0.3 NTS



9 STEP 9: SEALING AIR BARRIER
A0.3 NTS

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1	DESIGN REVIEW	25-08-22
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PROJECT 25-002

PETERS RESIDENCE

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DRAWING TITLE
WINDOW SEQUENCE
DIAGRAMS

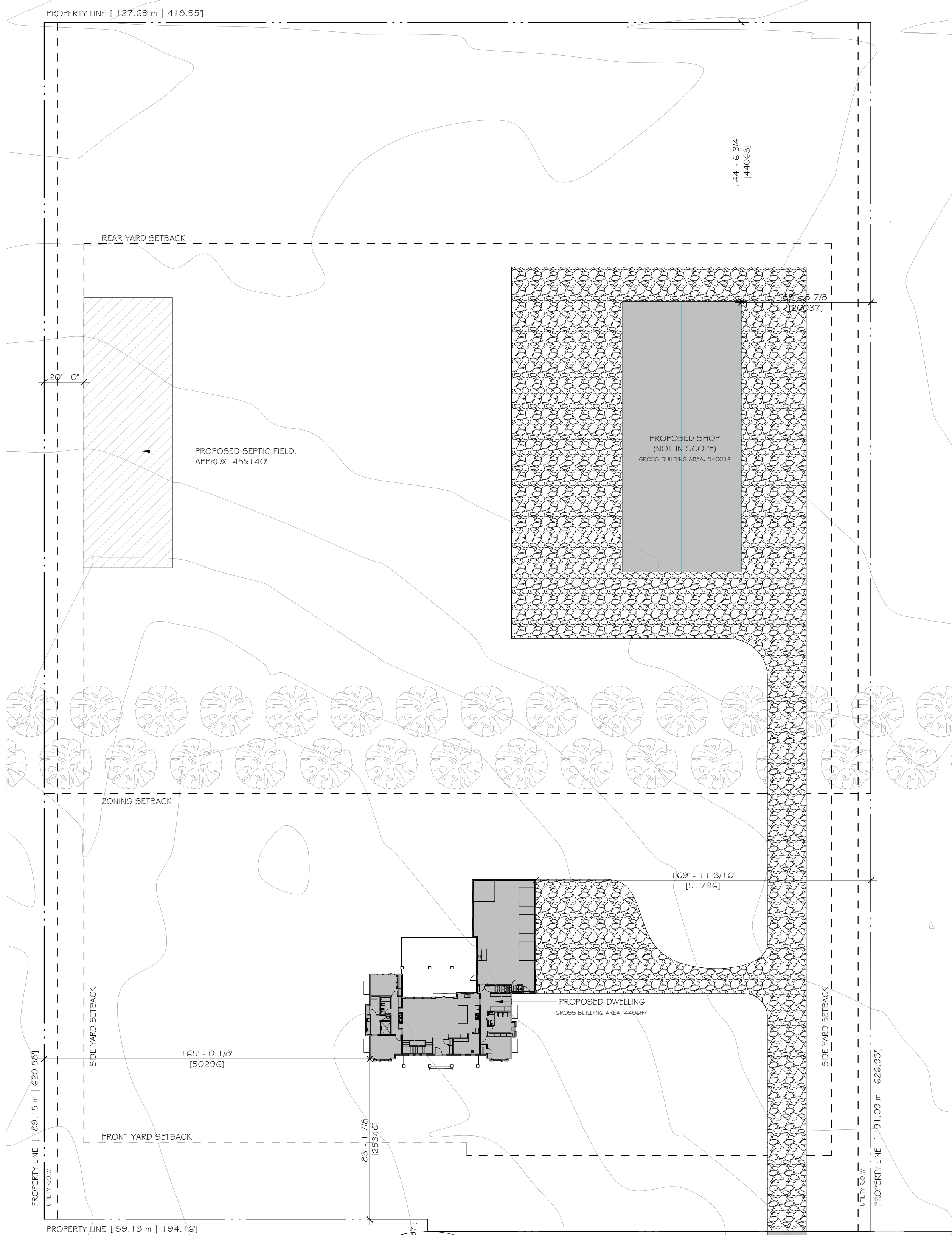
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A0.3

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LEGAL DESCRIPTION	
Property Description	
ADDRESS:	COALDALE, AB
LEGAL DESCRIPTION:	
ZONING:	
LOT AREA:	261417 ft ²
FRONT YARD SETBACK:	39' - 4 13/16"
SIDE YARD SETBACK:	20' - 0"
REAR YARD SETBACK:	114' - 9 15/16"
BUILDING AREA:	12,506sf
COVERED DECKS:	663sf
PARCEL COVERAGE:	5.2%



TRUE NORTH PROJECT NORTH
SITE PLAN
1/32" = 1'-0"

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1 DESIGN REVIEW	25-08-22
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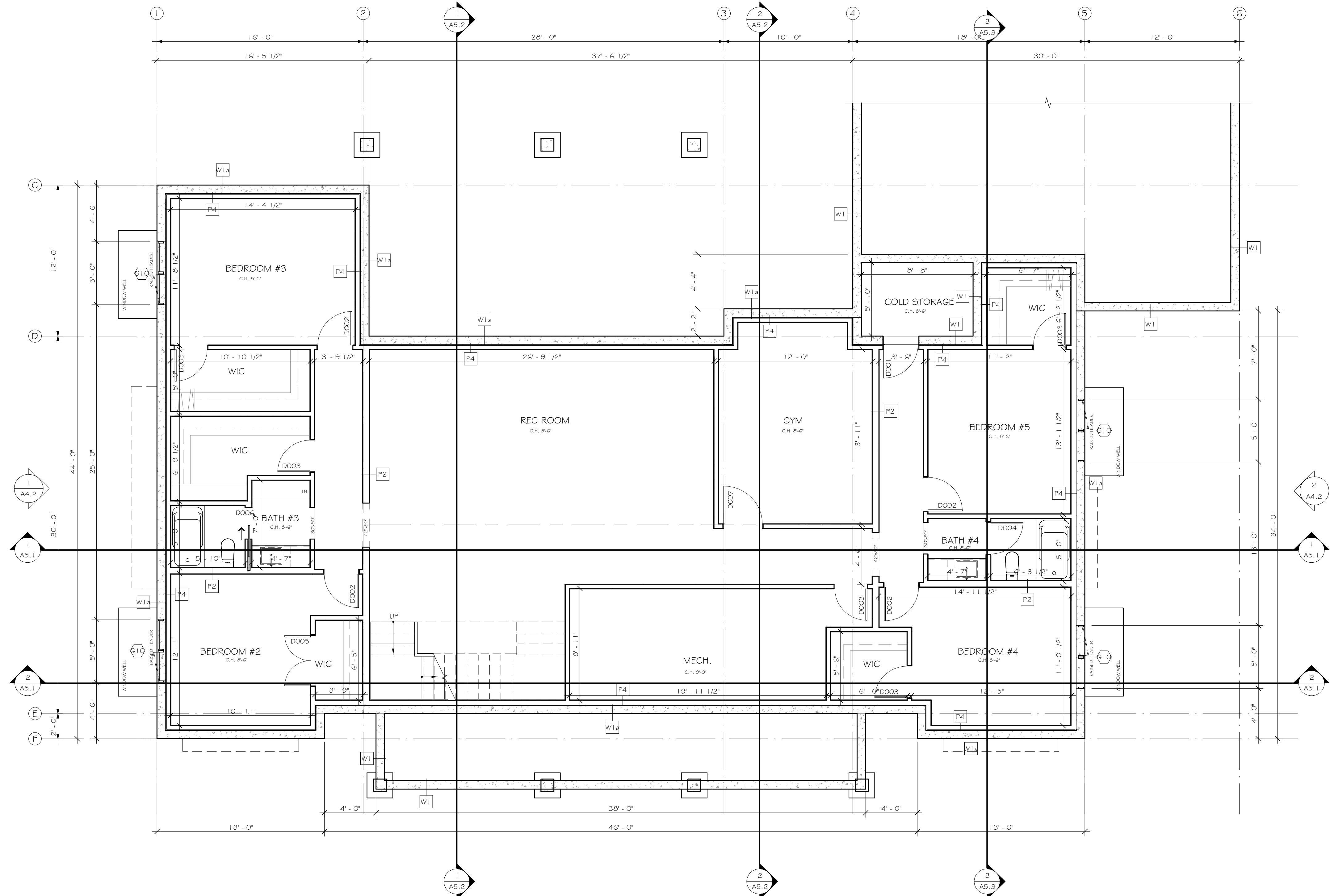
DRAWING TITLE
SITE PLAN & BUILDING
CODE SUMMARY

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FLOOR PLAN LEGEND

(APPLIED TO THIS SHEET ONLY)

- ALL INTERIOR PARTITIONS TO BE F.I. UNLESS OTHERWISE NOTED.
- DOOR ROUGH OPENING TO BE SET 4" FROM HINGE SIDE TO ADJACENT STUD UNLESS OTHERWISE NOTED.
- CLOSET DOORS TO BE CENTRED IN CLOSET UNLESS OTHERWISE NOTED.

ABBREVIATION LEGEND

AA	30"x24" ATTIC ACCESS HATCH
CC	COAT CLOSET
DBL	DOUBLE SHELF
DR	DOUBLE ROD
DW	DISH WASHER
EP	ELECTRICAL PANEL
FD	FLOOR DRAIN
FRN	FURNACE
HB	HOSE BIB
HWT	HOT WATER TANK
HK	HANDRAIL
MC	MEDICINE CABINET
REF	REFRIGERATOR
RR	RADON ROUGH-IN - REFER TO DETAIL
I/AC, I	SINGLE ROD
TB	TOWEL BAR
TH	TOILET PAPER HOLDER
---	DEPICTS EXTENT OF FIRE RATED ASSEMBLY

PRELIMINARY
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1 DESIGN REVIEW 25-08-22

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DRAWING TITLE

MAIN FLOOR PLAN

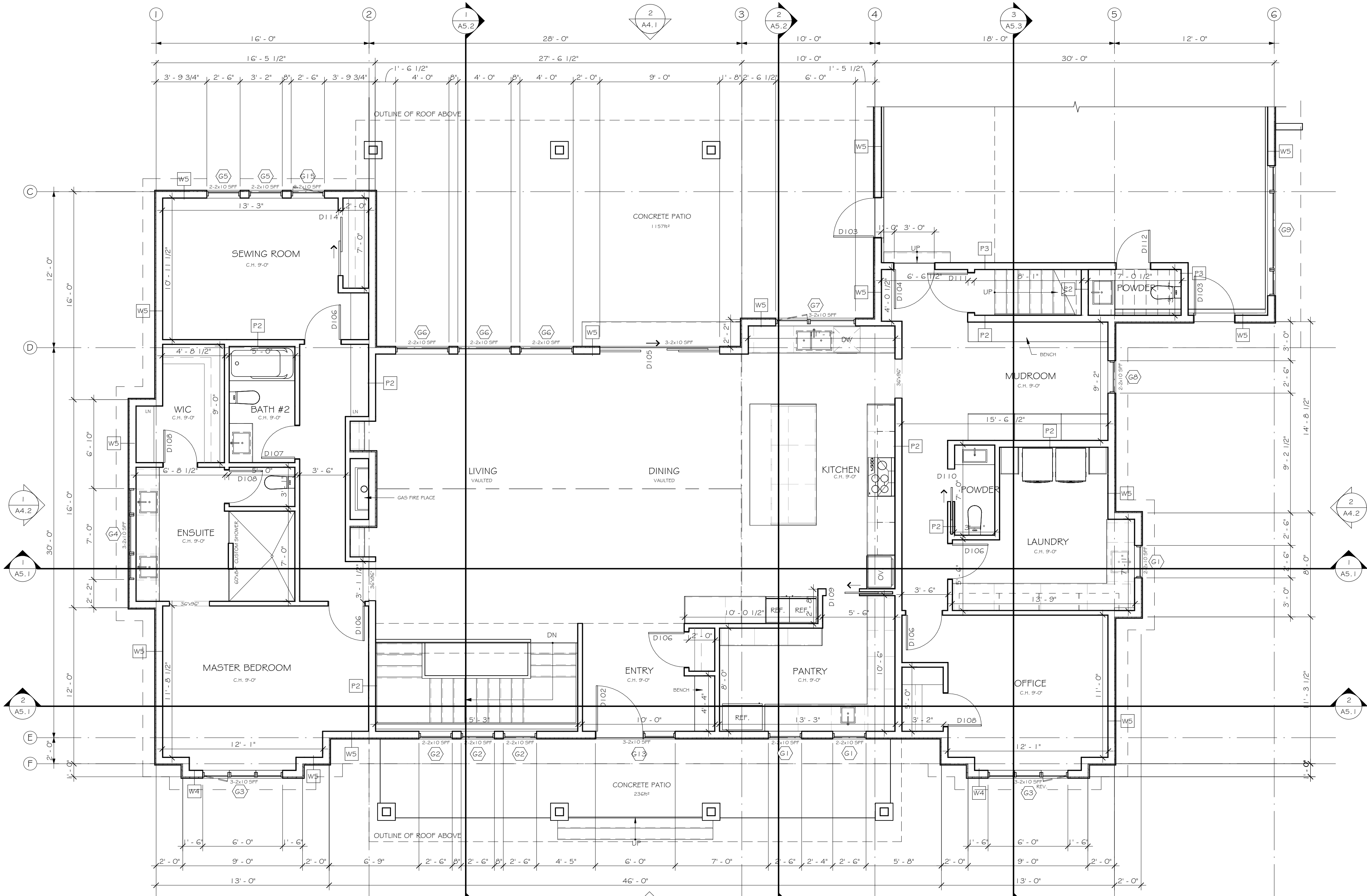
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MAIN FLOOR PLAN
1/4" = 1'-0"
MAIN FLOOR AREA: 2622ft²

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FLOOR PLAN LEGEND

(APPLIED TO THIS SHEET ONLY)

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2. DOOR ROUGH OPENING TO BE SET 4" FROM HINGE SIDE TO ADJACENT STUD UNLESS OTHERWISE NOTED.
3. CLOSET DOORS TO BE CENTRED IN CLOSET UNLESS OTHERWISE NOTED.

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DW	DISH WASHER
EP	ELECTRICAL PANEL
FD	FLOOR DRAIN
FRN	FURNACE
HS	HOSE BIB
HWT	HOT WATER TANK
HR	HANDRAIL
MC	MEDICINE CABINET
REF	REFRIGERATOR
RR	RADON ROUGH-IN - REFER TO DETAIL
U/AG	1/4" I
SR	SINGLE ROD
TB	TOWEL BAR
TH	TOILET PAPER HOLDER
---	DEPICTS EXTENT OF FIRE RATED ASSEMBLY

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Drawn By	Date (YY-MM-DD)
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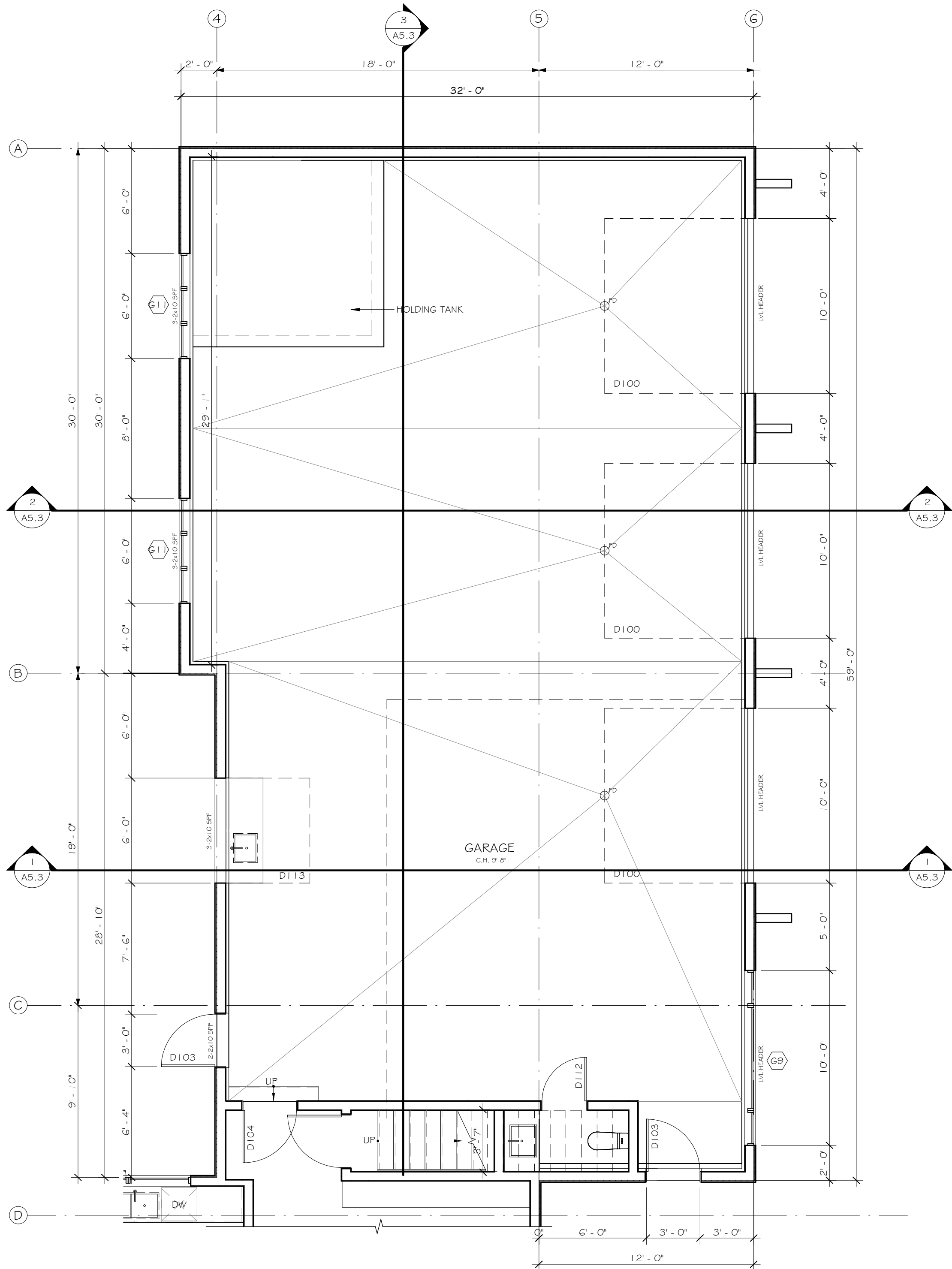
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DRAWING TITLE
GARAGE FLOOR &
ROOF PLAN

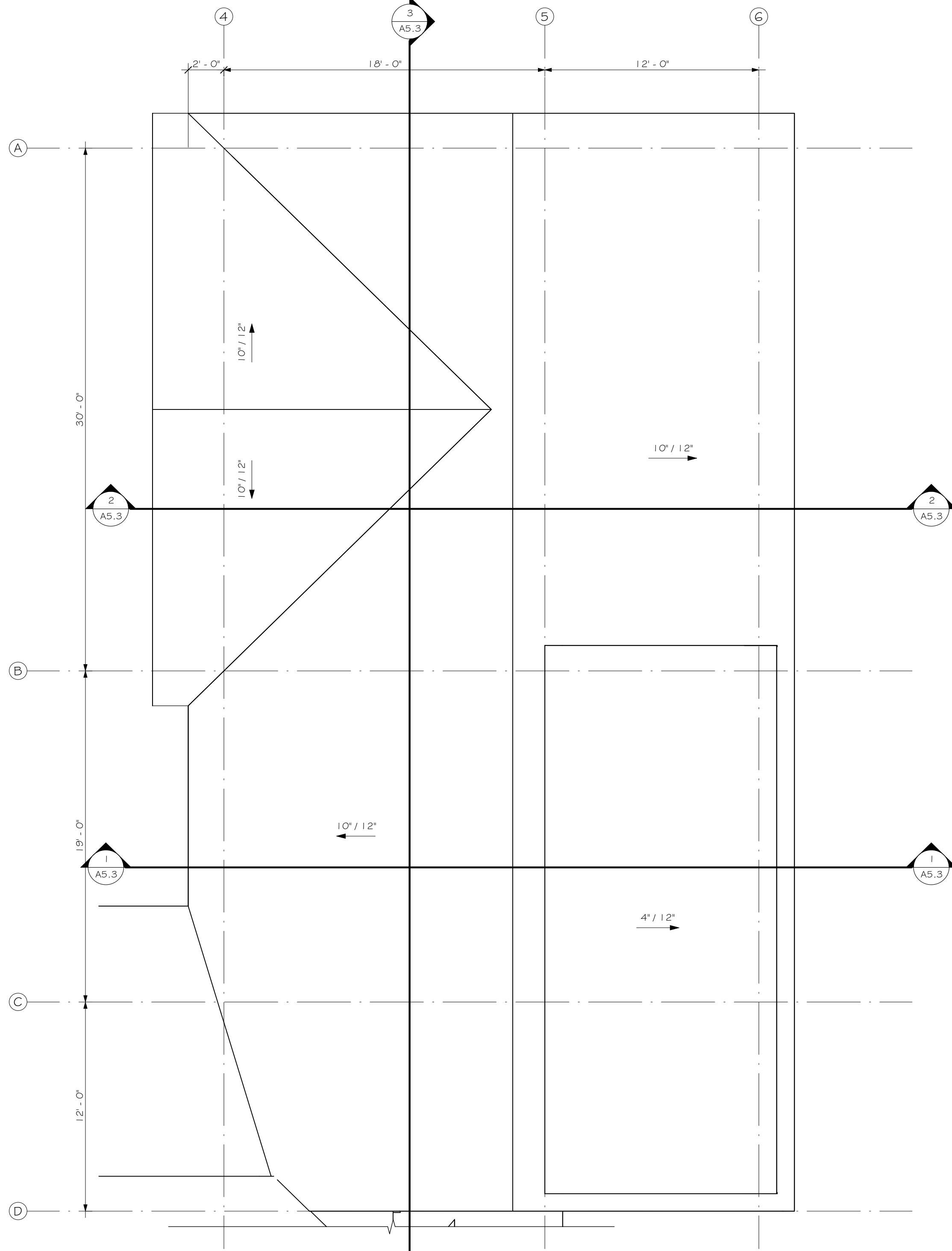
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1 GARAGE FLOOR PLAN
1/4" = 1'-0"
GARAGE AREA: 1765R²



2 ROOF PLAN
1/4" = 1'-0"

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FLOOR PLAN LEGEND

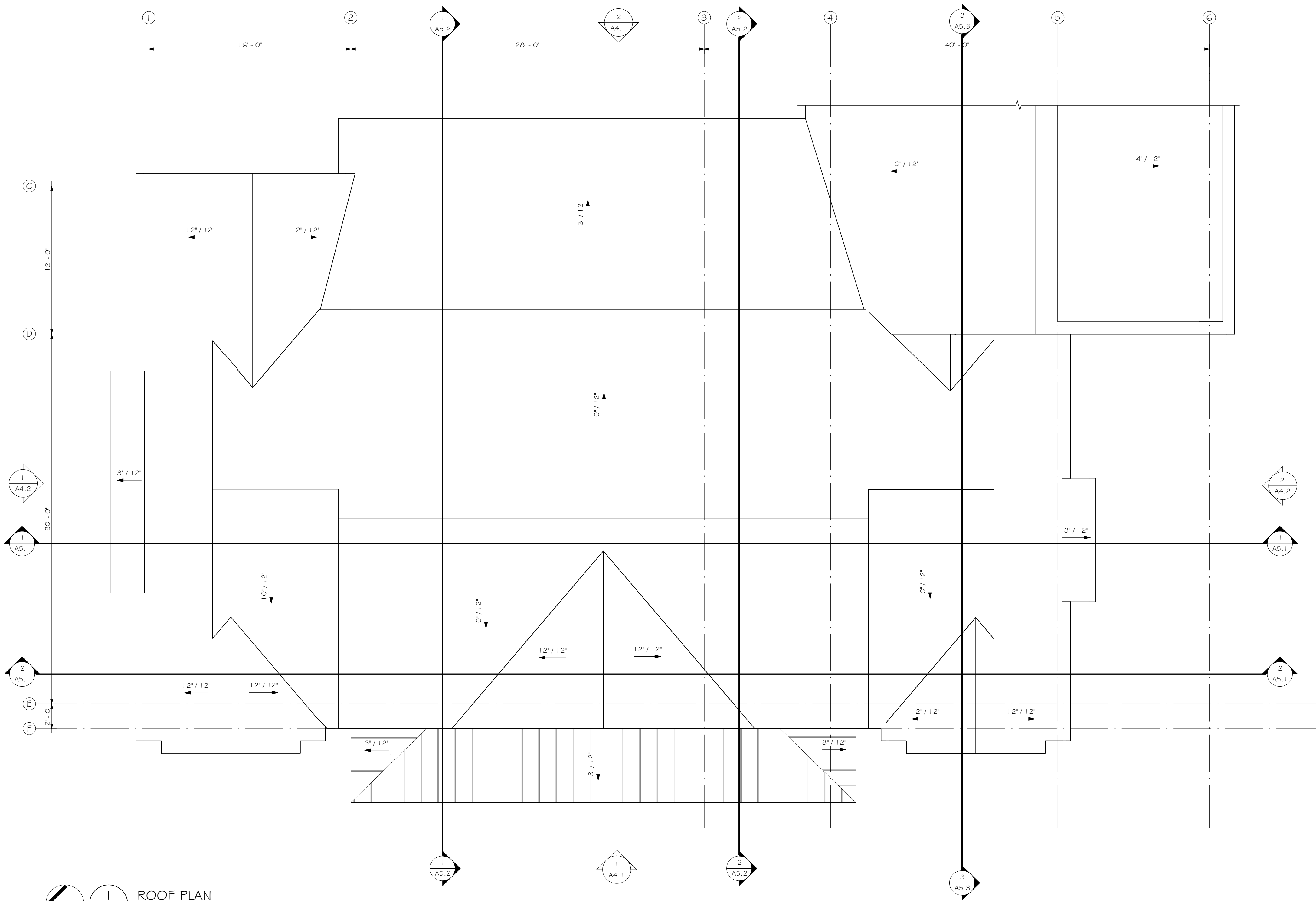
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2. DOOR ROUGH OPENING TO BE SET 4" FROM HINGE SIDE TO ADJACENT STUD UNLESS OTHERWISE NOTED.
3. CLOSET DOORS TO BE CENTRED IN CLOSET UNLESS OTHERWISE NOTED.

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HWT	HOT WATER TANK
HR	HANDRAIL
MC	MEDICINE CABINET
REF	REFRIGERATOR
RR	RADON ROUGH-IN - REFER TO DETAIL
U/AG.1	U/AG.1
SR	SINGLE ROD
TS	TOWEL BAR
TH	TOILET PAPER HOLDER
---	DEPICTS EXTENT OF FIRE RATED ASSEMBLY

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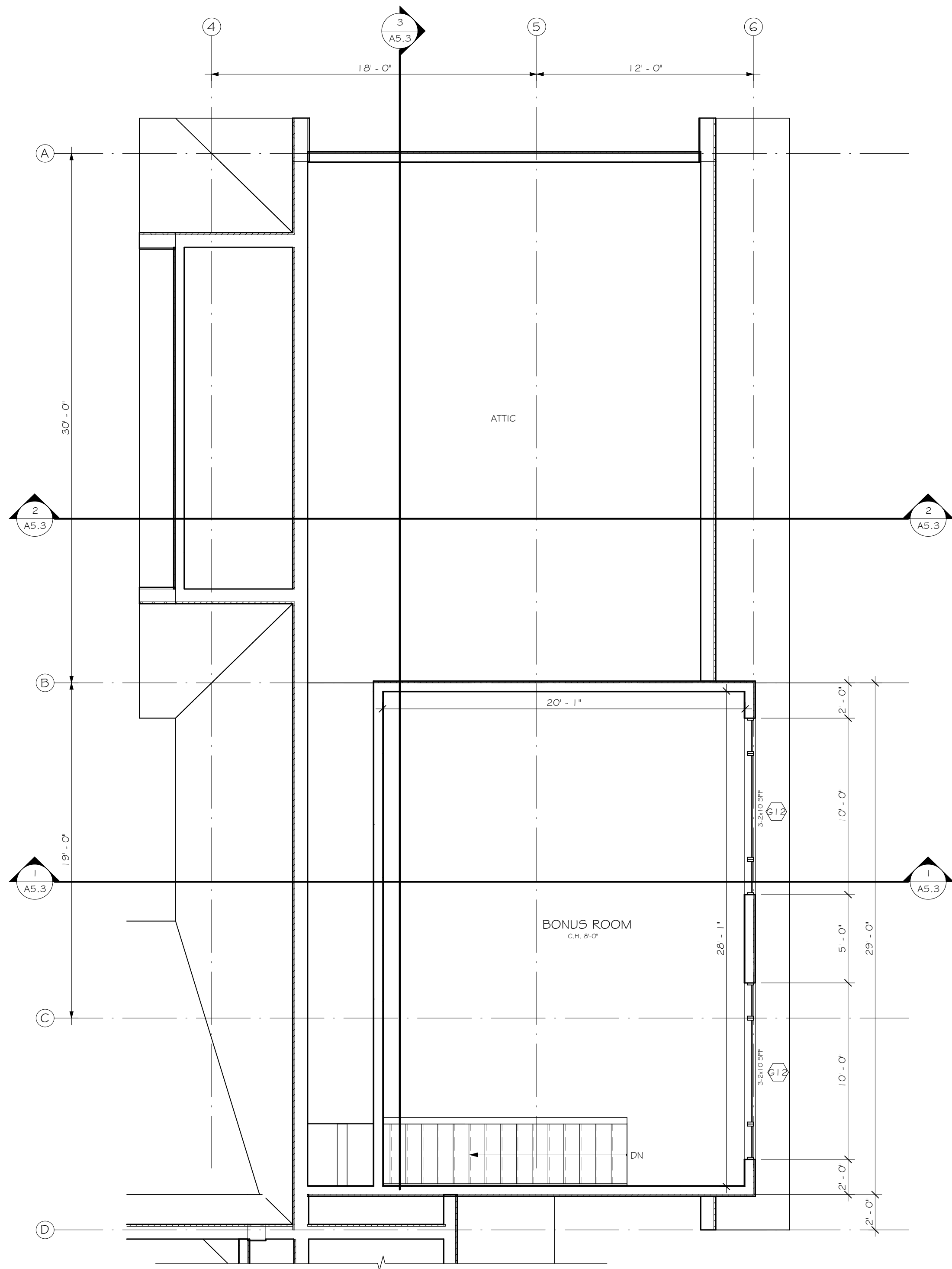
ROOF PLAN

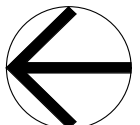
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  **BONUS ROOM FLOOR PLAN**
1/4" = 1'-0"
BONUS ROOM AREA: 617ft²

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FLOOR PLAN LEGEND (APPLIED TO THIS SHEET ONLY)

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HWT	HOT WATER TANK
HR	HANDRAIL
MC	MEDICINE CABINET
REF	REFRIGERATOR
RR	RADON ROUGH-IN - REFER TO DETAIL
U/AG.1	U/AG.1
SR	SINGLE ROD
TB	TOWEL BAR
TH	TOILET PAPER HOLDER
---	DEPICTS EXTENT OF FIRE RATED ASSEMBLY

1	DESIGN REVIEW	25-08-22
No	DESCRIPTION	DATE
PROJECT 25-002		

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Drawn By	Date (YY-MM-DD)
Author	25-07-23



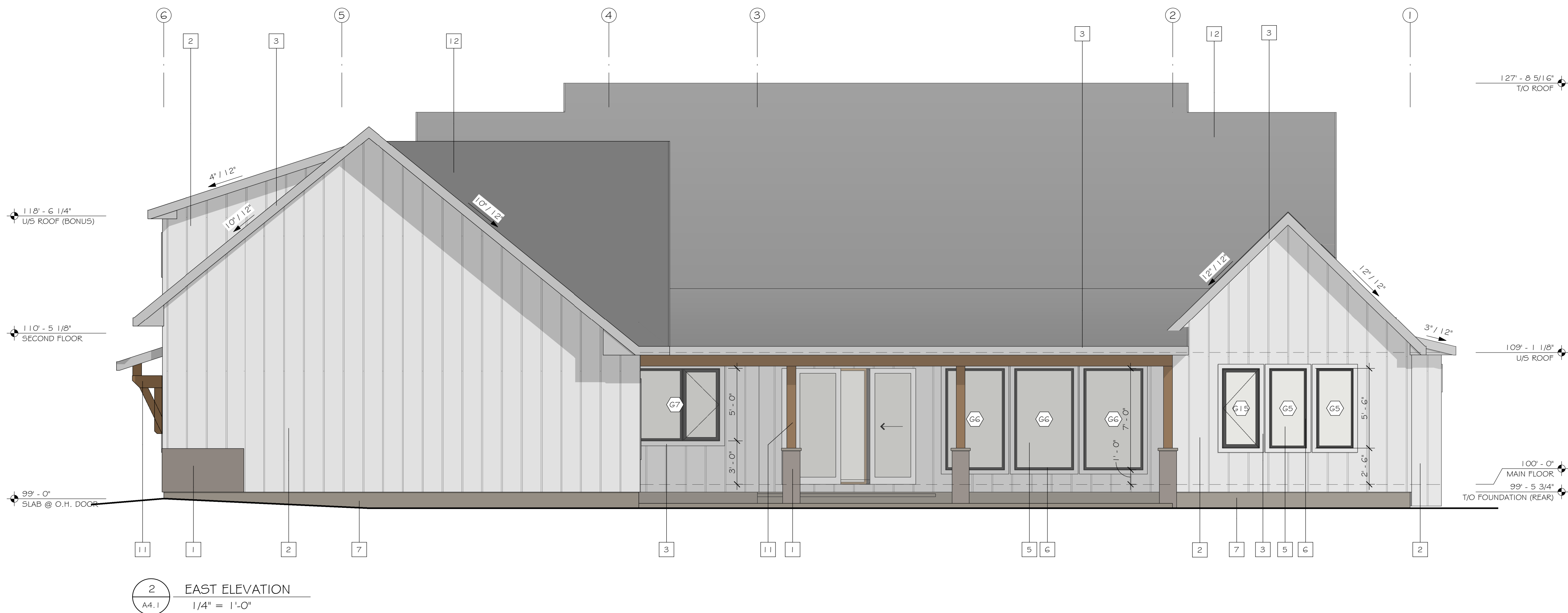
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DRAWING TITLE
BONUS ROOM #
ENLARGED FLOOR
PLAN
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MATERIAL LEGEND

- 1 STONE VENEER
- 2 COMPOSITE BOARD & BATTEN SIDING
COLOR: TBD (ALLURA)
- 3 SMARTBOARD TRIM & FASCIA
COLOR: TBD
- 4 LOW-E TRIPLE PANE GLASS
- 5 ALUMINUM CLAD WINDOW FRAMES
FINISH: BLACK
- 6 CONCRETE
- 7 T&G WOOD SOFFIT
FINISH: TBD (SANSIN)
- 8 STANDING SEAM METAL
COLOR: TBD (FORMA)
- 9 WOOD TIMBERS
FINISH: TBD (SANSIN)
- 10 ASPHALT SHINGLES
COLOR: TBD

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1 DESIGN REVIEW	25-08-22
No DESCRIPTION	DATE

PROJECT 25-002

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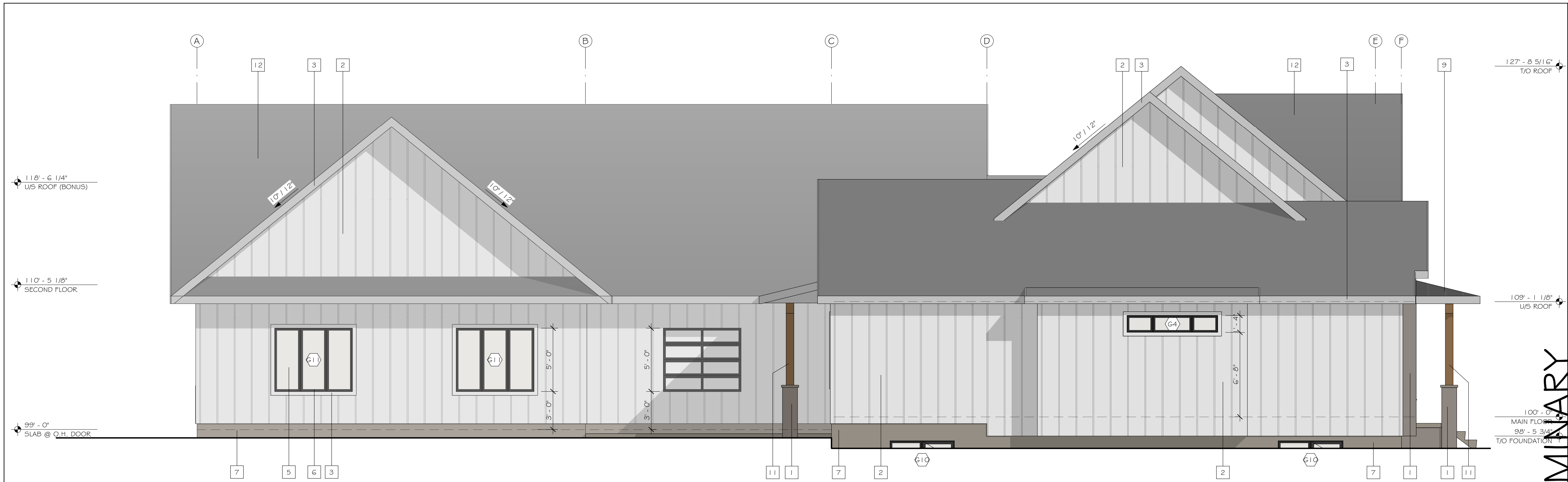
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DRAWING TITLE
ELEVATIONS

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1 NORTH ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

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MATERIAL LEGEND	
1	STONE VENEER
2	COMPOSITE BOARD & BATTEN SIDING COLOR: TBD (ALLURA)
3	SMARTBOARD TRIM & FASCIA COLOR: TBD
5	LOW-E TRIPLE PANE GLASS
6	ALUMINUM CLAD WINDOW FRAMES FINISH: BLACK
7	CONCRETE
8	T&G WOOD SOFFIT FINISH: TBD (SANGIN)
9	STANDING SEAM METAL COLOR: TBD (FORMA)
11	WOOD TIMBERS FINISH: TBD (SANGIN)
12	ASPHALT SHINGLES COLOR: TBD

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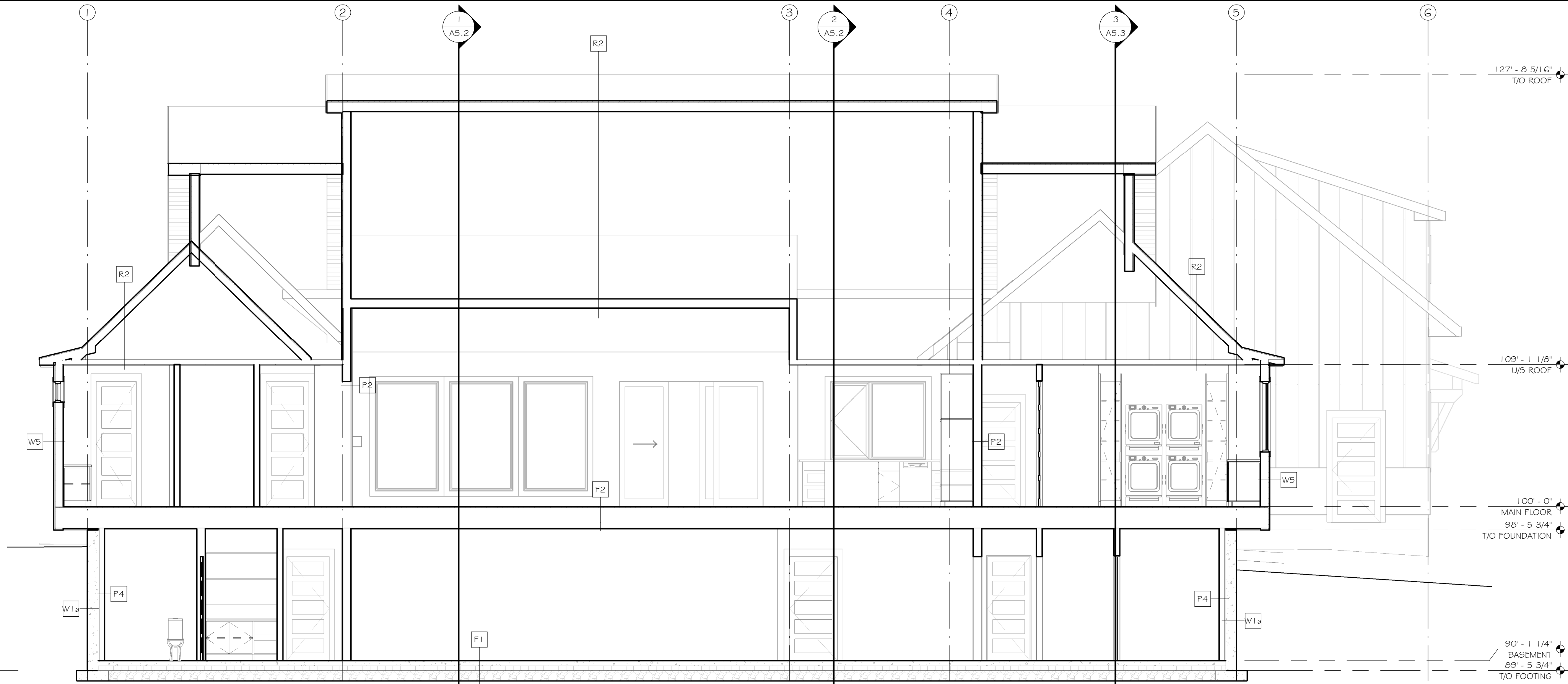
DRAWING TITLE
ELEVATIONS
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Building Permit
SHEET

A4.2
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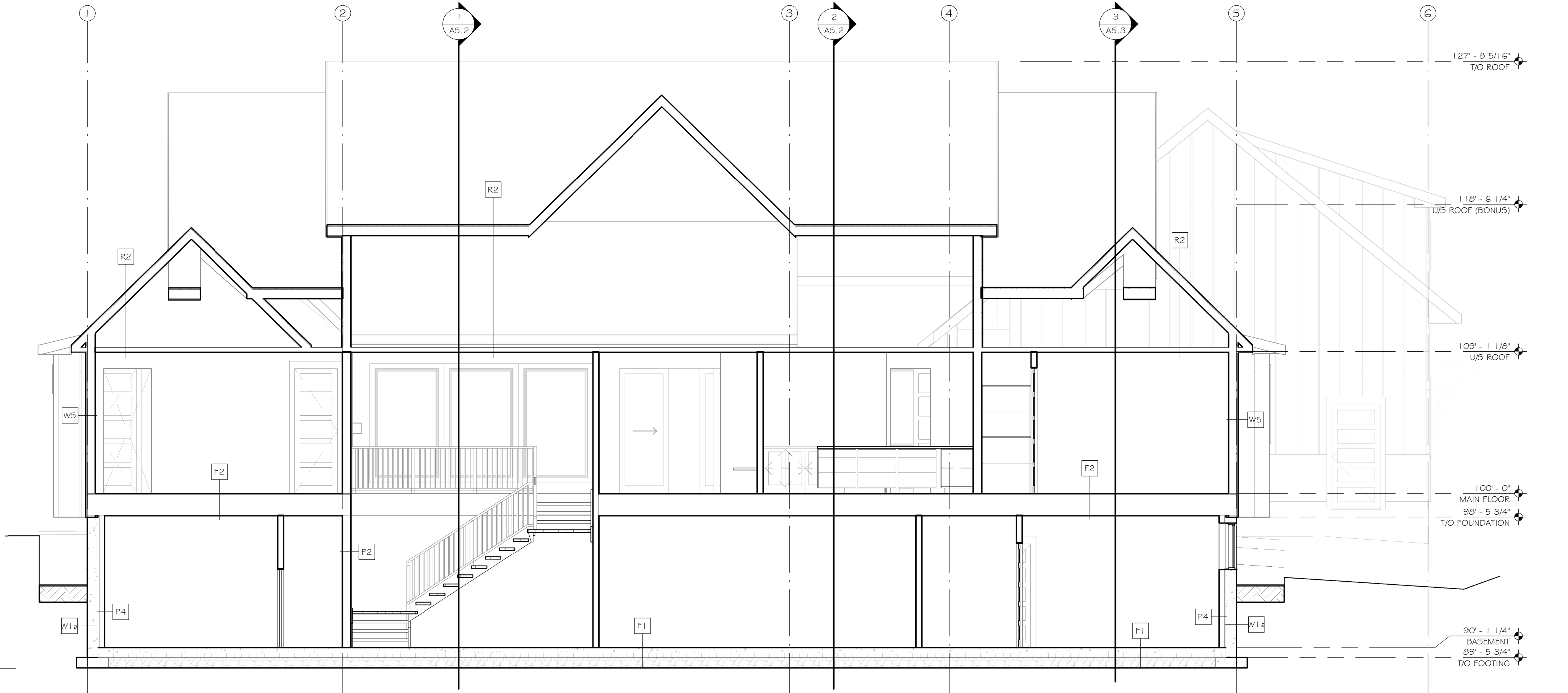
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1
A5.1
BUILDING SECTION
1/4" = 1'-0"



2
A5.1
BUILDING SECTION
1/4" = 1'-0"



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PRELIMINARY
NOT FOR CONSTRUCTION

1 DESIGN REVIEW	25-08-22
No DESCRIPTION	DATE
PROJECT 25-002	

PETERS RESIDENCE

COALDALE, AB

LEGAL ADDRESS	
Drawn By	Date (YY-MM-DD)
J5	25-07-23



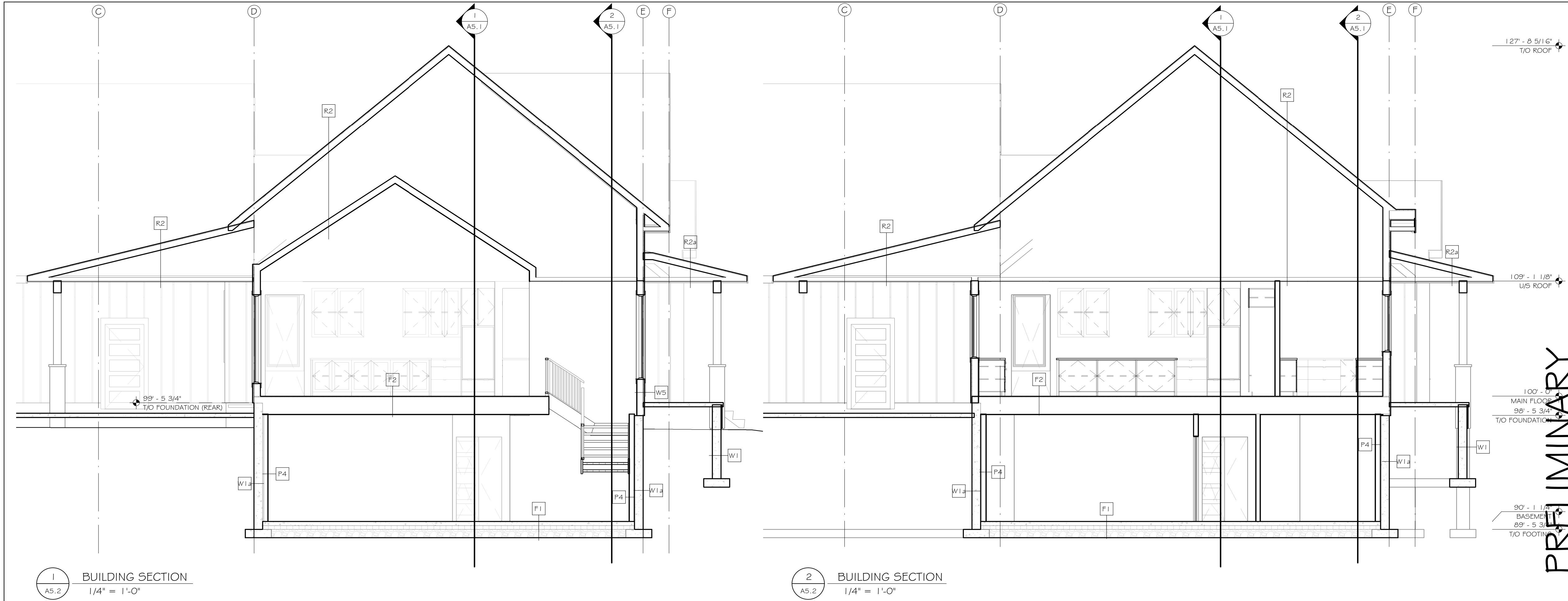
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DRAWING TITLE
BUILDING SECTIONS

Development Permit
Building Permit
SHEET

A5.1

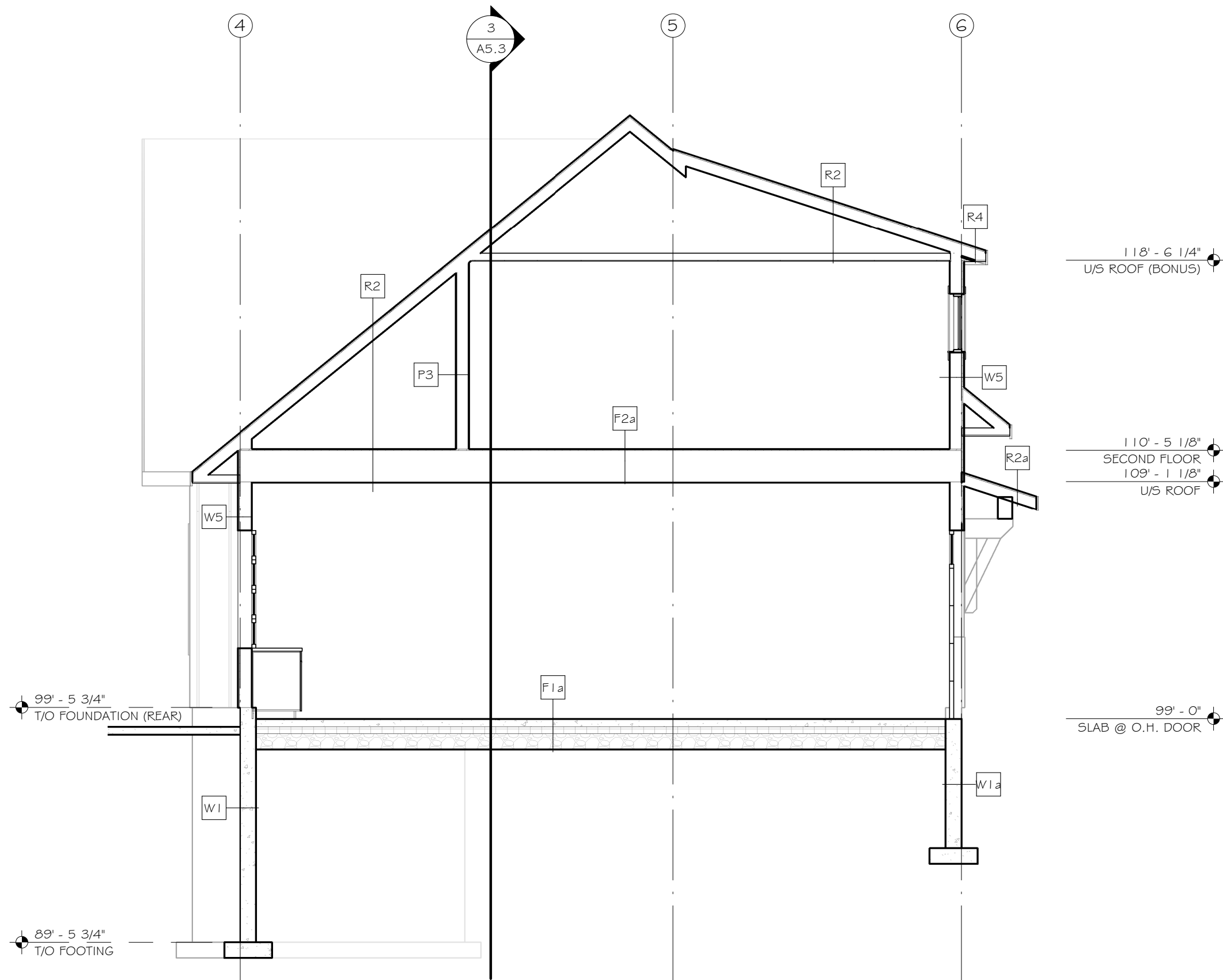
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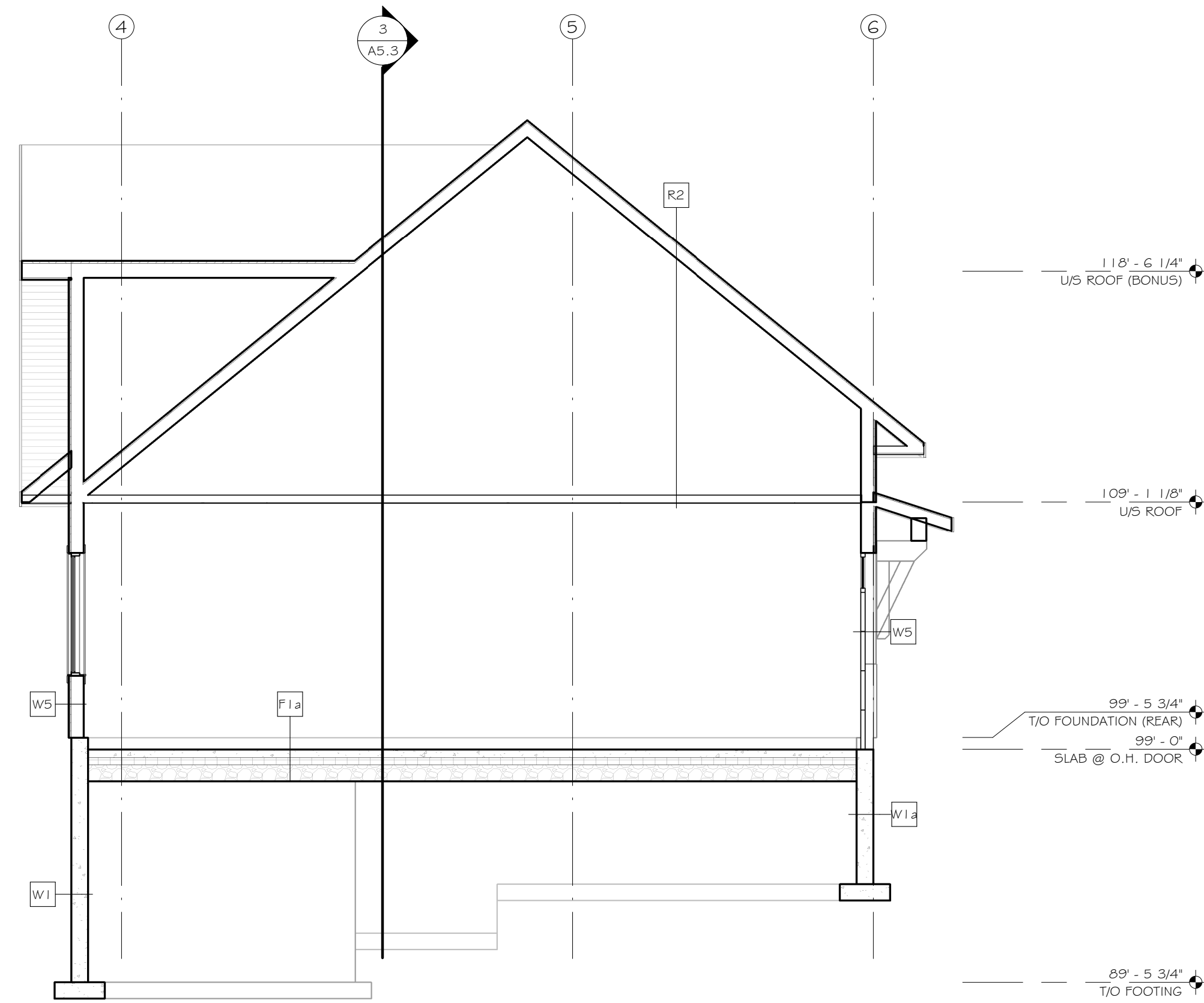
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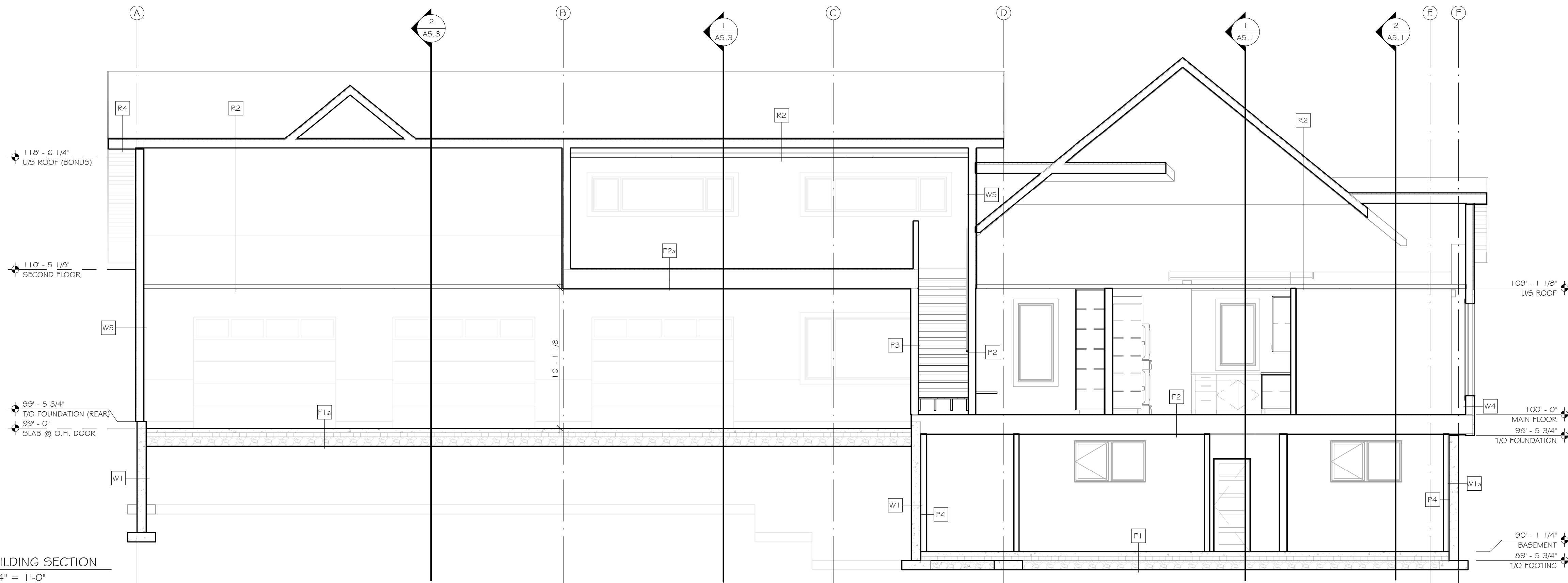
1	DESIGN REVIEW	25-08-22
No	DESCRIPTION	DATE
PROJECT 25-002		
PETERS RESIDENCE		
COALDALE, AB		
LEGAL ADDRESS		
Drawn By	Date (YY-MM-DD)	
J5	25-07-23	
ARCHITECTURE INC.		
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1 BUILDING SECTION
1/4" = 1'-0"



2 BUILDING SECTION
1/4" = 1'-0"



3 BUILDING SECTION
1/4" = 1'-0"

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1 DESIGN REVIEW 25-08-22
No DESCRIPTION DATE
PROJECT 25-002

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COALDALE, AB

LEGAL ADDRESS
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JS 25-07-23

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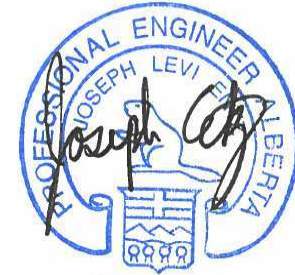
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August 6 2029

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ISSUED PURSUANT TO THE
ARCHITECTS ACT OF ALBERTA



2025-08-01
APEGA ID: 176756

**PERMIT TO PRACTICE
ANNO DOMINI ENGINEERING LTD.**

RM SIGNATURE: Joseph Enty

RM APEGA ID #: 176756

DATE: 2025-08-01

PERMIT NUMBER: P016238
The Association of Professional Engineers and
Geoscientists of Alberta (APEGA)

[illegible]

ANNO DOMINI
ENGINEERING LTD.

PROJECT
60'X140' SHOP

TITLE	3D RENDERS
-------	------------

CLIENT

FRANZ PETERS

DRAWN BY NG	CHECKED BY JE	DATE 25/08/01
SCALE (@ A1)		PROJECT NUMBER 25-45-001
DRAWING NUMBER A1.1		REV 3

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NBC - 2023 AE - BUILDING CODE REVIEW

1. BUILDING ADDRESS

LETHBRIDGE COUNTY, AB - LOT 6; BLOCK 1: RANGE RD 210A

2. PART 3 / PART 9:

PART 3 (1.3.3.3. DIV. A)

3. BUILDING CLASSIFICATION:

- A. MAJOR OCCUPANCY (SHOP): F-2 – MEDIUM HAZARD INDUSTRIAL (3.2.2.80)
- B. MINOR OCCUPANCY (OFFICE): D – BUSINESS SERVICES (3.2.2.64)

4. SPATIAL SEPERATION (3.2.3):

- A. NORTH
 - AREA = 247.2 m²
 - LIMITING DISTANCE > 9.0 m
 - PERMITTED % UNPROTECTED OPENINGS = UNLIMITED
 - NO F.R.R REQUIRED
 - COMBUSTIBLE CONSTRUCTION PERMITTED
 - COMBUSTIBLE OR NONCOMBUSTIBLE CLADDING PERMITTED
- B. SOUTH
 - AREA = 247.2 m²
 - LIMITING DISTANCE > 9.0 m
 - PERMITTED % UNPROTECTED OPENINGS = UNLIMITED
 - NO F.R.R REQUIRED
 - COMBUSTIBLE CONSTRUCTION PERMITTED
 - COMBUSTIBLE OR NONCOMBUSTIBLE CLADDING PERMITTED
- A. EAST
 - AREA = 105.9 m²
 - LIMITING DISTANCE > 9.0 m
 - PERMITTED % UNPROTECTED OPENINGS = UNLIMITED
 - NO F.R.R REQUIRED
 - COMBUSTIBLE CONSTRUCTION PERMITTED
 - COMBUSTIBLE OR NONCOMBUSTIBLE CLADDING PERMITTED
- A. WEST
 - AREA = 105.9 m²
 - LIMITING DISTANCE > 9.0 m
 - PERMITTED % UNPROTECTED OPENINGS = UNLIMITED
 - NO F.R.R REQUIRED
 - COMBUSTIBLE CONSTRUCTION PERMITTED
 - COMBUSTIBLE OR NONCOMBUSTIBLE CLADDING PERMITTED

5. BUILDING AREA:

- A. MAIN FLOOR (SHOP): 646.9 m² (6,960 ft²)
- B. MAIN FLOOR (OFFICE): 133.8 m² (1,440.0 ft²)
- C. MEZZANINE: 133.8 m² (1,440 ft²)
- CONSIDERED 2ND STOREY: 133.8 m²/646.9 m² = 20.6% < 40 % - NO (3.2.1.1.3)
- MEZZ. ENCLOSED AREA NOT TO OBSTRUCT VISUAL COMMUNICATION. WINDOWS REQUIRED (3.2.1.1.7)

6. BUILDING EAVE:

- A. SHOP: 6.1 m (20')

7. OCCUPANT LOAD (40 TOTAL /8 ANTICIPATED)

- A. MAIN FLOOR (SHOP): 23 PERSONS (28.0 m²/person) - 3.1.17.1 – (6 ANTICIPATED)
- B. MAIN FLOOR (OFFICE): 14 PERSONS (9.3 m²/person) - 3.1.17.1 - (2 ANTICIPATED)
- C. MEZZANINE: 3 PERSON(S) (46 m²/person) - 3.1.17.1

8. FIRE RATINGS:

- A. SHOP/OFFICE – NO SEPERATION REQUIRED (3.1.3.1)
- B. U/S MEZZANINE ASSEMBLY
 - N/A (3.2.2.80, 3.2.2.64)
- C. LOAD-BEARING WALLS SUPPORTING MEZZANINE
 - N/A (3.2.2.80, 3.2.2.64)
- D. ROOF
 - N/A (3.2.2.80, 3.2.2.64)
- E. MECHANICAL ROOM(S)
 - SEPERATED FROM THE REMAINDER OF THE BUILDING WITH 1 HR FRR (3.6.2)
- F. DOORS
 - 45 MIN. FRR IN A 1 HR FIRE SEPERATION (9.10.13.1.)
 - 20 MIN. FRR IN A 45 MIN FIRE SEPERATION (9.10.13.1.)
- G. EXITS
 - 45 MIN. FRR (3.4.4.1)
- H. MEZZANINE WALLS
 - NEED NOT TERMINATE AT VERTICAL FIRE SEPERATION - (3.2.8.2.1.c)

9. MEANS OF EGRESS:

- A. MAIN FLOOR (SHOP) – 2 EXITS REQ'D (3.4.2.1.2)
- B. MAIN FLOOR (OFFICE) – 2 EXITS REQ'D (3.4.2.1.2)
- C. MEZZANINE – 2 EXITS REQ'D (3.4.2.2), 1 EXIT REQUIRES F.R.R

10. TRAVEL DISTANCE:

- A. MAIN FLOOR (SHOP) – MAX 30.0 m (3.4.2.5.3)
- B. MAIN FLOOR (OFFICE) – MAX 40.0 m (3.4.2.1-A)
- C. MEZZANINE – MAX 30.0 m (3.4.2.2)

11. WATER CLOSETS:

- A. (1) MALE/FEMALE REQ'D - (3.7.2.2.4) - ANTICIPATED OCCUPANT LOAD < 10)

12. BARRIER FREE REQUIREMENTS:

- MAIN ENTRANCE SHALL BE BARRIER-FREE (3.8.2.2)
- MAIN ENTRANCE SHALL BE EQUIPPED WITH A POWER DOOR OPERATOR. THE POWER DOOR OPERATOR IS ONLY REQUIRED TO ACTIVATE THE ACTIVE LEAF IN A DOUBLE DOOR (3.8.2.7)
- (1) BARRIER-FREE WATER CLOSET REQ'D (3.8.2.8)

13. DOORS SWING:

- A. SWING IN THE DIRECTION OF TRAVEL (3.4.6.12)
- B. SWING ON THE VERTICAL AXIS (3.4.6.12)
- C. EVERY DOOR SERVING THE MECH. RM. SHALL SWING OUTWARD FROM THE MECH. RM. (3.6.2.6)

14. DOOR HARDWARE:

- ALL EXIT DOORS SHALL BE EQUIPPED WITH A SELF-CLOSING MECHANISM (3.4.6.13)
- ALL EXIT DOORS SHALL BE EQUIPPED WITH LEVER HANDLES (3.3.1.13.3, 3.8.3.8.1b)

15. EMERGENCY LIGHTING:

- REQ'D AT EACH EXIT (3.2.7.3)

16. FIRE EXTINGUISHERS:

- REQ'D AT EACH EXIT

17. EXIT SIGNS:

- NOT REQ'D (3.4.5.1)

18. SPRINKLER SYSTEM:

- NOT REQ'D (3.2.2.80, 3.2.2.64)

19. FIRE ALARM SYSTEM:

- NOT REQ'D (3.2.4.1)

20. ATTIC FIRE BLOCKS:

- ATTIC SPACE SHALL BE SEPARATED BY FIRE BLOCKS INTO COMPARTMENTS NOT MORE THAN 300 m² IN AREA (3.1.11.5)

21. SOIL GAS CONTROL:

- SOIL GAS VENTING REQUIRED (9.13.4.)

22. ROOF VENTING:

- UNOBSTRUCTED ROOF VENT AREA SHALL BE NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA. (9.19.1.2)

23. ROOF ACCESS HATCH:

- NOT REQ'D (3.2.5.3)

24. ENERGY CODE

- BUILDING SHALL COMPLY WITH THE REQUIREMENTS OF THE NATIONAL ENERGY CODE OF CANADA FOR BUILDINGS 2020

25. MAIN ENTRANCE VESTIBULE:

- NOT REQ'D. MAIN FLOOR OFFICE AREA < 150 m² (NECB 20220 - 3.2.2.1.3f)

26. FIREFIGHTING WATER SUPPLY:

- $Q = V \times O \times S = 226,150$ Litres (3.2.5.7)
- $V = 4,523$ m³
- $O = 50$
- $S = 1.0$

Statement of Compliance - National Energy Code of Canada for Buildings 2020										
Project Name:		Franz Peters								
Project Address:		Coaldale, AB								
Simple Trade-off Calculations for Above-ground Building Envelope Assemblies										
Description or Identification of Building Envelope Assembly	Vertical Portions		Horizontal Portions		Maximum Allowable Thermal Transmittance of Assembly in Reference Building (prescriptive values): U _r W/(m ² .K)	Thermal Transmittance of Assembly in Proposed Building: U _p W/(m ² .K)	Area of Assembly in Reference Building: A _r (m ²)	Area of Assembly in Proposed Building: A _p (m ²)	U _r x A _r (W/K)	U _p x A _p (W/K)
	Wall	Fenestration	Door	Floor						
North Wall W1	X				0.247	0.213	151.019	186.843	37.302	39.790
FDWR		X			1.90	1.90	87.432	6.520	166.121	12.387
O/H Door			X		1.90	1.90	36.418	0.000	69.194	0.000
Curb	X				0.247	0.538	8.671	0.000	4.664	0.000
East Shop Wall W1	X				0.247	0.213	64.722	98.477	15.986	20.972
FDWR					1.90	1.90	37.471	0.000	71.195	0.000
O/H Door					1.90	1.90	0.000	0.000	0.000	0.000
Curb	X				0.247	0.538	3.716	0.000	1.999	0.000
South Shop Wall W1	X				0.247	0.213	151.019	185.799	37.302	39.568
FDWR		X			1.90	1.90	87.432	7.563	166.121	14.370
O/H Door			X		1.90	1.90	36.418	0.000	69.194	0.000
Curb	X				0.247	0.538	8.671	0.000	4.664	0.000
West Shop Wall W1	X				0.247	0.213	64.722	85.471	15.986	18.202
FDWR		X			1.90	1.90	37.471	13.006	71.195	24.712
O/H Door			X		1.90	1.90	0.000	0.000	0.000	0.000
Curb	X				0.247	0.538	3.716	0.000	1.999	0.000
TOTALS							681.289	681.289	581.208	321.714
Is building envelope compliant with simple trade-off path? (U _p x A _p ≤ total U _r x A _r and A _p = A _r)										
Yes										
Roof R1				X	0.156	0.121	764.778	780.386	119.305	94.101
Skylights				X	1.90	1.90	15.608	0.000	29.655	0.000
TOTALS							780.386	780.386	148.960	94.101
Is roof compliant with simple trade-off path? (U _p x A _p ≤ total U _r x A _r and A _p = A _r)										
Yes										

Wall Name			% Framing		RSI _e (m².K)/W
Wall W1	Stud Spacing		% Studs	% Cavity	
	406 c/c		23	77	4.206
	Stud Size		RSI thru stud (m².K)/W	RSI thru cavity (m².K)/W	
Wood Studs	184	0.0085 RSI/mm	1.564	-.9	
Insulation	R28		-	4.93	

1. ALL WORK TO BE IN ACCORDANCE WITH NATIONAL BUILDING CODE: 2023 ALBERTA EDITION.
2. DESIGN LOADS:

3. ENVIRONMENTAL LOADS: COALDALE, ALBERTA

IMPORTANCE CATEGORY: NORMAL

SEISMIC: SITE CLASS (ASSUMED): D

FIELD REVIEW SPECIFICATIONS

1. THE INTENT OF THE FIELD REVIEWS IS TO INSPECT THE STRUCTURAL SYSTEM AT APPROPRIATE INTERVALS IN ORDER TO ENSURE GENERAL CONFORMANCE TO THE STRUCTURAL PLANS. THE CONDUCT OF FIELD REVIEWS BY ANNO DOMINI ENGINEERING LTD. DOES NOT REPLACE THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND APPLICABLE CODES. ADDITIONALLY, FIELD REVIEWS BY ANNO DOMINI ENGINEERING LTD DO NOT REPLACE INSPECTIONS BY THE AUTHORITY HAVING JURISDICTION OVER THE PROJECT.
2. A REPRESENTATIVE OF ANNO DOMINI ENGINEERING LTD. WILL GENERALLY BE REQUIRED TO INSPECT THE STRUCTURAL ELEMENTS LISTED BELOW AT THE TIME OF CONSTRUCTION. A MINIMUM OF TWO (2) WORKING DAYS NOTICE IS REQUIRED FOR THE WORK SHOULD BE SCHEDULED. ANY ADDITIONAL INSPECTION, ADDITIONAL WORK, AND/OR REVISION COSTS INCURRED BY INCOMPLETE WORK SHALL BE BORNE BY THE CONTRACTOR.

SHEARWALL/FLOOR/ROOF SHEATHING, BLOCKING AND NAILING
HOLD DOWN SIZES AND LOCATIONS, STRAPPING AND SPLICES IN TOP PLATES
BEAM/COLUMN/STUD SIZES AND LOCATIONS

CONCRETE

1. CONCRETE MATERIALS AND MIX DESIGN TO FOLLOW THE REQUIREMENTS OF CSA A23.1-14 AND CSA A23.3-14.
2. REFER TO CONCRETE PROPERTIES TABLE ON THIS PAGE.
3. CURING AND PROTECTION OF CONCRETE FOR HOT, COLD OR DRY WEATHER TO CONFORM TO CSA A23.1. PROVIDE MOIST CURE FOR MINIMUM 3 DAYS. (SUBMIT ALTERNATIVE CURING PROCEDURES TO CONSULTANT).
4. PLANNED LOCATION AND DETAILS OF CONSTRUCTION JOINTS TO BE REVIEWED BY CONSULTANT. SEE TYPICAL DETAILS.
5. PROVIDE SAWCUT CONTROL JOINTS IN SLAB ON GRADE AT COLUMN LOCATIONS AND AS PER DRAWINGS.
6. CONCRETE COVER AS PER TABLE IN TYPICAL DETAILS.
7. SEE ARCHITECTURAL DRAWINGS FOR CONCRETE FINISHES AND FLOOR HARDENERS. SUBMIT PROPOSAL TO CONSULTANT FOR APPROVAL PRIOR TO USE.
8. PROVIDE 20 CHAMFER TO ALL EXTERIOR CORNERS.

1. ALL REINFORCING BARS SHALL BE GRADE 400 MPa (60 ksi)

2. ALL REINFORCING BARS SHALL BE MANUFACTURED TO MEET THE REQUIREMENTS OF CSA STANDARD G 30.18 BILLET-STEEL BARS FOR CONCRETE REINFORCEMENT.
3. CHAIR SLAB REINFORCING NOT FURTHER THAN 36" IN EITHER DIRECTION. SUPPLY SUPPORT , BARS, CHAIRS AND CARRIERS AS REQUIRED.
4. DOWELS AND ANCHOR BOLTS SHALL BE SECURED IN POSITION BY MEANS OF TEMPLATES BEFORE CONCRETE IS POURED. "WET DOWELING" IS NOT PERMITTED.
5. ANCHOR BOLTS MUST BE LOCATED WITHIN REINFORCING STEEL CAGE, UNLESS NOTED ON DRAWINGS.
6. NOTIFY CONSULTANT WHERE PLACEMENT OF REINFORCING STEEL CONFLICTS WITH WORK OF OTHER TRADES.
7. MINIMUM REINFORCING AROUND OPENINGS LARGER THAN 12": 1-15M EACH SIDE AND EACH FACE OF OPENINGS EXTENDED 24" PAST CORNERS UNLESS NOTED OTHERWISE.
8. PROVIDE DOWELS FROM CONCRETE COMPONENTS TO MATCH BLOCK REINFORCING. DOWEL LENGTH MINIMUM 48", EMBED 24" INTO CONCRETE UNLESS NOTED OTHERWISE.
9. UNLESS NOTED OTHERWISE, ALL DOWELS TO PROJECT A MINIMUM OF 40 BAR DIAMETERS INTO SLAB OR WALL FROM FACE OF SUPPORT.
10. REFER TO SPLICE TABLE ON THIS DRAWING.

- STRIP FOOTINGS: 3000 PSF
- BEARING CAPACITY TO BE CONFIRMED BY GEOTECHNICAL CONSULTANT PRIOR TO PLACEMENT OF FORMWORK.

2. BEARING SURFACES FOR FOOTINGS SHALL BE INSPECTED AND APPROVED BY THE GEOTECHNICAL CONSULTANT PRIOR TO POURING FOOTINGS.
3. FINAL EXCAVATION TO BE PERFORMED WITH A SMOOTH EDGE BUCKET TO WITHIN 425mm OF SHOWN ELEVATION.
4. SPECIFIED ELEVATIONS OF FOOTINGS SHALL BE LOWERED IF REQUIRED TO OBTAIN THE DESIGN BEARING PRESSURE, AS DIRECTED BY THE CONSULTANT.
5. DO NOT ALLOW ANY FOOT OR MACHINE TRAFFIC ON EXPOSED SOIL SURFACES.
6. PROTECT BEARING SURFACES FROM DESICCATION AND MOISTURE INTRUSION.
7. DO NOT PLACE CONCRETE ON FROZEN SOIL.
8. CONTINUOUS DE-WATERING SHOULD BE ANTICIPATED.

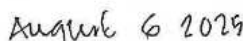
2. PRIOR TO TRUSS INSTALLATION, NOTIFY THE CONSTRUCTION MANAGER IF DIMENSIONS FOR CHASES, OR SPACING OF TRUSSES WILL EXCEED THE MAXIMUM DIMENSIONS INDICATED ON THE DRAWINGS.

3. TRUSS AND JOIST CENTRE TO CENTRE SPACING INDICATES MAXIMUM SPACING. REDUCE SPACING TO ACCOMMODATE PIPES, DUCTS, CONDUITS, STACKS AND CHASES.
4. EXCEPT WHERE SPECIFICALLY DETAILED ON STRUCTURAL DRAWINGS, CUTTING, NOTCHING DRILLING HOLES OR ANY OTHER ALTERATION OF ANY TRUSSES, BEAMS, LITELS, COLUMNS OR OTHER STRUCTURAL COMPONENTS IS NOT PERMITTED FOR ANY REASON WHATSOEVER
5. HOLES FOR ELECTRICAL WIRING MAY BE ADVANCED THROUGH STUDS, GANG STUDS AND BUILT-UP COLUMNS. PROVIDED THE HOLES ARE MAXIMUM 20 DIAMETER, ARE AT THE CENTRE OF THE WIDTH OF THE MEMBER AND ARE MINIMUM 300 FROM THE TOP OR BOTTOM. MULTIPLE HOLES ARE PERMITTED (MAXIMUM 4 PER MEMBER) PROVIDED THEY ARE SPACED VERTICALLY MINIMUM 100 OC.
6. WOOD FRAMING IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED MATERIAL.
7. ADDITIONAL STUDS AND CRIPPLE STUDS ARE REQUIRED AT EACH SIDE OF ALL OPENINGS, REFER TO DRAWINGS.
8. SHEATHING
 - WALLS: 7/16" EXTERIOR GRADE OSB OR PLYWOOD
 - ROOFS (SLOPED): 7/16" EXTERIOR GRADE OSB OR PLYWOOD
 - 2ND FLOOR AND MECHANICAL RECESSES: 3/4" T/G GIS PLYWOOD

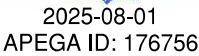
<u>CONCRETE COVER</u>	
CONDITION	SPECIFIED COVER
FORMED EDGES NOT EXPOSED TO SOIL	1"
FORMED EDGES EXPOSED TO SOIL	1.5"
CONCRETE CAST AGAINST SOIL	3"
SLAB TOP REINFORCEMENT	1"
STRUCTURAL SLAB BOTTOM REINFORCEMENT	1.5"

CONCRETE SCHEDULE							
COMPONENT	TYPE	MINIMUM COMPRESSIVE STRENGTH (MPa)	EXPOSURE CLASS	MAXIMUM WATER TO CEMENT RATIO	AIR CONTENT	SLUMP RANGE	NOMINAL AGGREGATE SIZE (mm)
FOOTINGS AND FOUNDATION WALLS	GU	32 @ 28 DAYS	F-2	0.45	4-7%	50-80	20-5
STRUCTURAL SLAB AND SLAB ON GRADE (EXTERIOR)	GU	32 @ 28 DAYS	F-2	0.45	4-7%	40-80	20-5
STRUCTURAL SLAB (INTERIOR)	GU	32 @ 28 DAYS	N	-	<4%	50-80	20-5
SLAB ON GRADE (INTERIOR)	GU	25 @ 28 DAYS	N	-	<4%	50-80	20-5
MECHANICAL HOUSEKEEPING PADS AND INTERIOR TOPPING	GU	25 @ 28 DAYS	N	-	<4%	MAX 150	10-5

ABV.	ABOVE
ABFF	ABOVE FINISHED FLOOR
APPROX or ±	APPROXIMATE
ARCH	ARCHITECT (TURAL)
BLDG	BUILDING
BM.	BEAM
BTM.	BOTTOM
B.U.	BUILT UP
C.I.P.	CAST IN PLACE
C/C	CENTRE TO CENTRE
C/W	COMPLETE WITH
CONC.	CONCRETE
CONT.	CONTINUOUS
DA, or ø	DIAMETER
DWG.	DRAWING
EA.	EACH
E.L. or ELEV.	ELEVATION
E.W.	EACHWAY
E.F.	EACH FACE
ELECT.	ELECTRICAL
FDN	FOUNDATION
FTG.	FOOTING
GA.	GAUGE
GL	GRIDLINE
LD.	INSIDE DIAMETER
LG.	LONG
MECH.	MECHANICAL
MEZZ.	MEZZANINE
N. or S.	NOT TO SCALE
O.D.	OUTSIDE DIAMETER
OWWJ	OPEN WEB WOOD JOIST
OWSJ	OPEN WEB STEEL JOIST
PL.	PLATE
REINF.	REINFORCING
R/W	REINFORCED WITH
R/S	SIMILAR
SCHED.	SCHEDULE
T&B	TOP & BOTTOM
T&G	TONGUE AND GROOVE
T.O.C.	TOP OF CONCRETE
T.O.S.	TOP OF STEEL
T.P.	TOP OF PLATE
TYP.	TYPICAL
UND.	UNDERSIDE
U.N.O.	UNLESS NOTED OTHERWISE
W/O	WITHOUT



SEAL



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PERMIT NUMBER: P016238
The Association of Professional Engineers and
Geoscientists of Alberta (APEGA)

[illegible]

ANNO DOMINI
ENGINEERING LTD.

PROJECT

60'X140' SHOP

TITLE

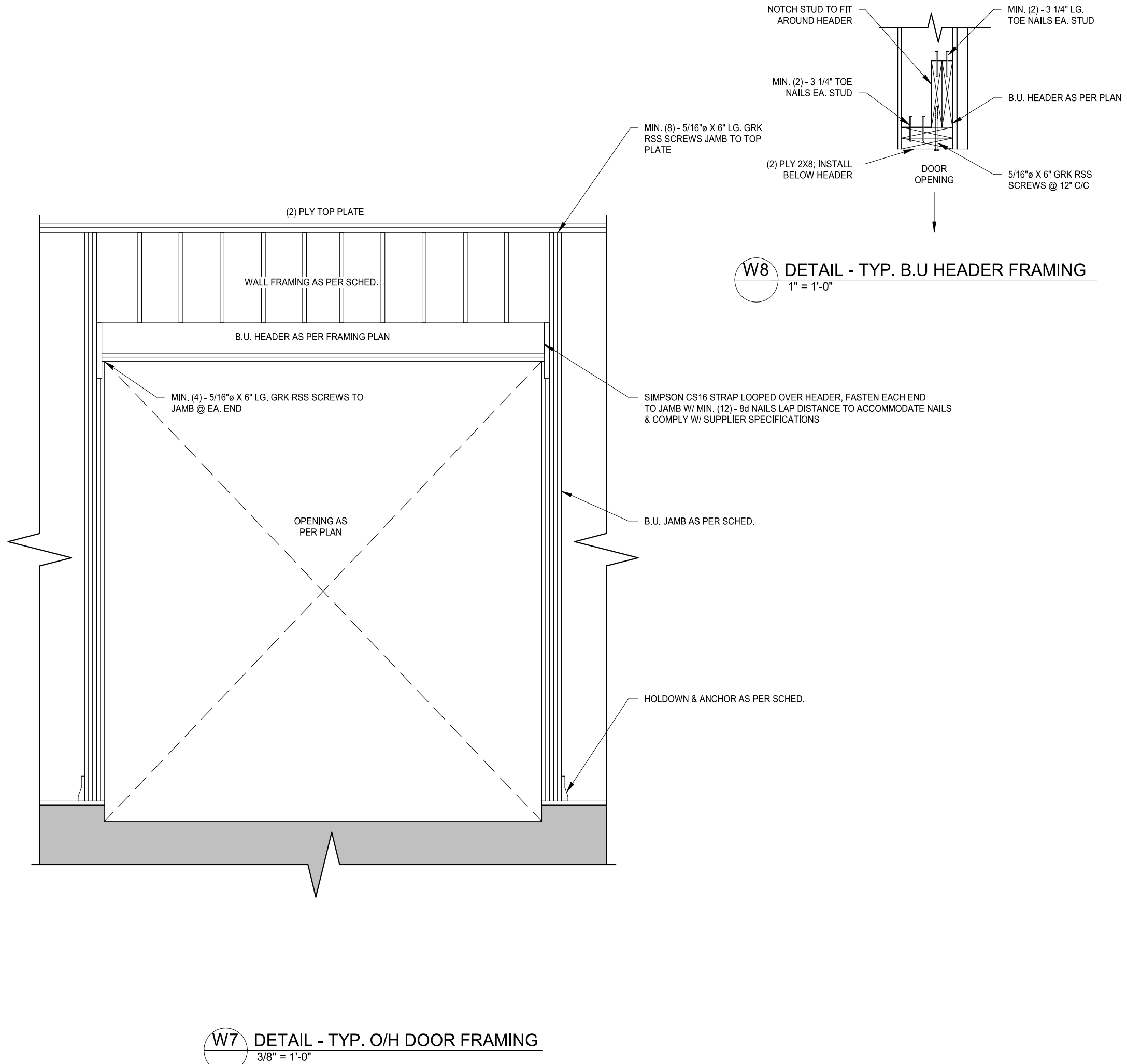
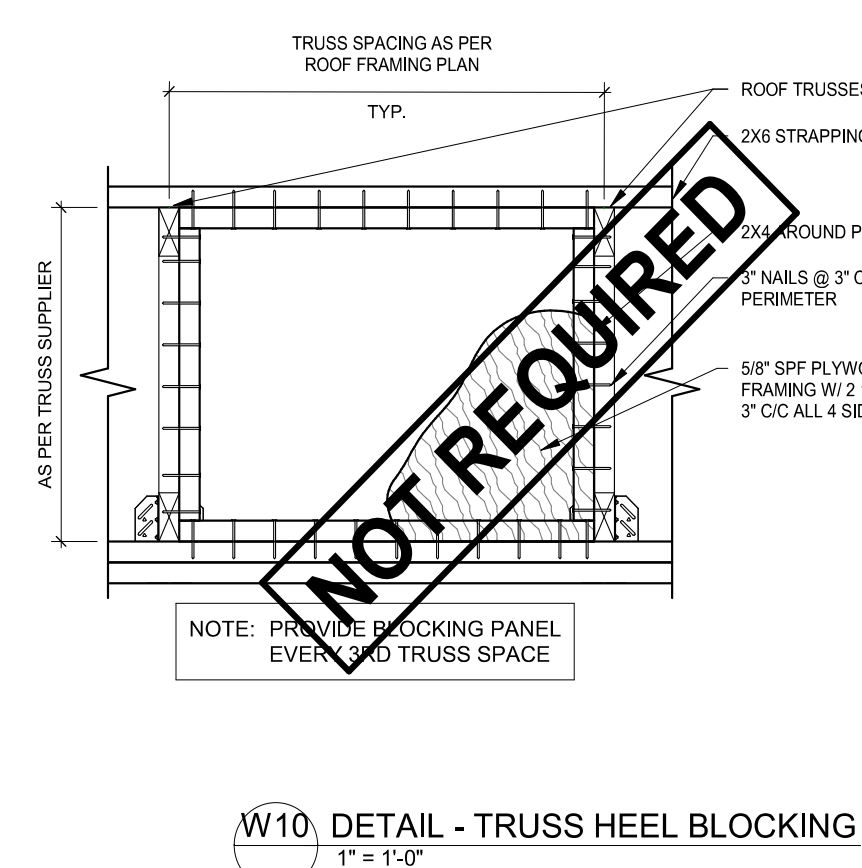
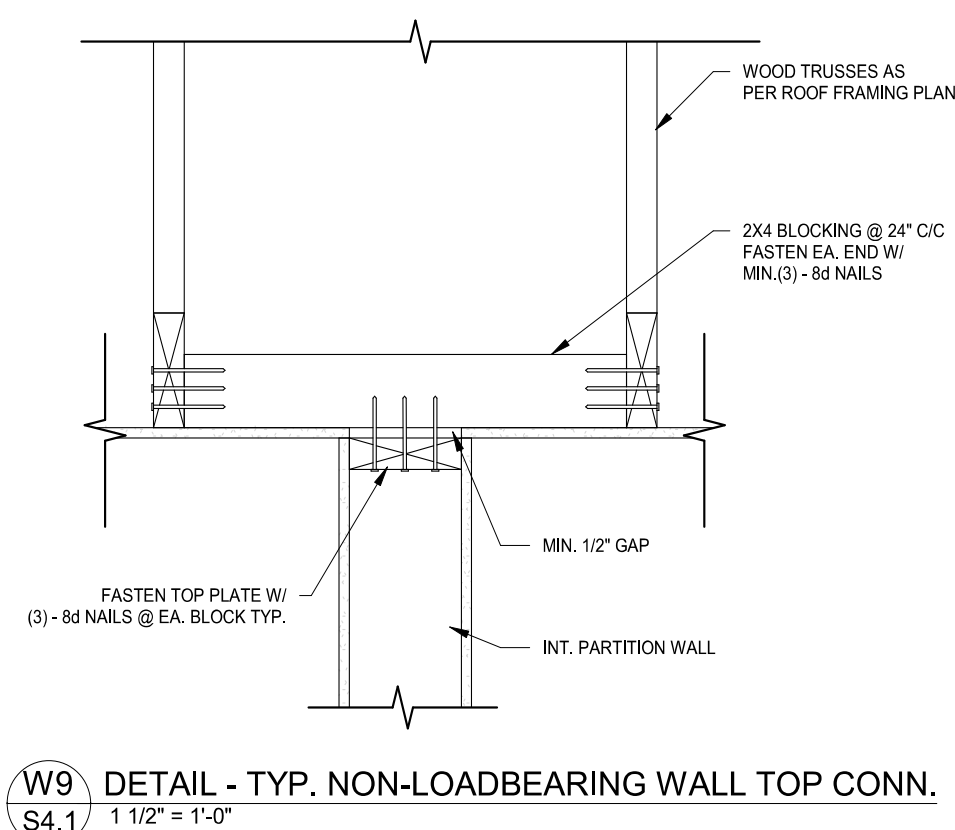
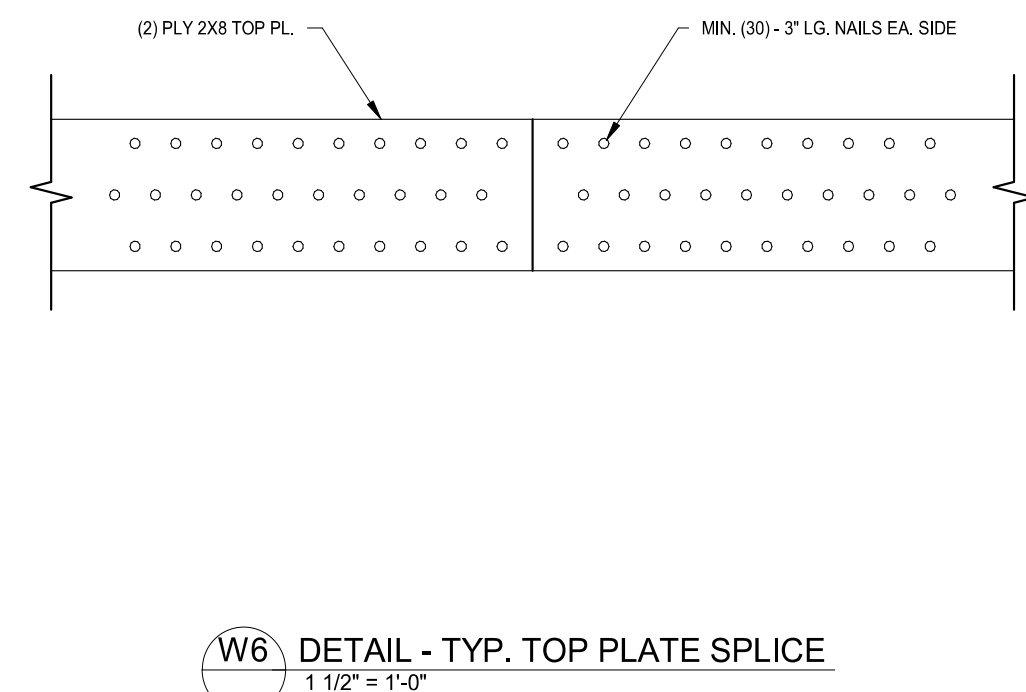
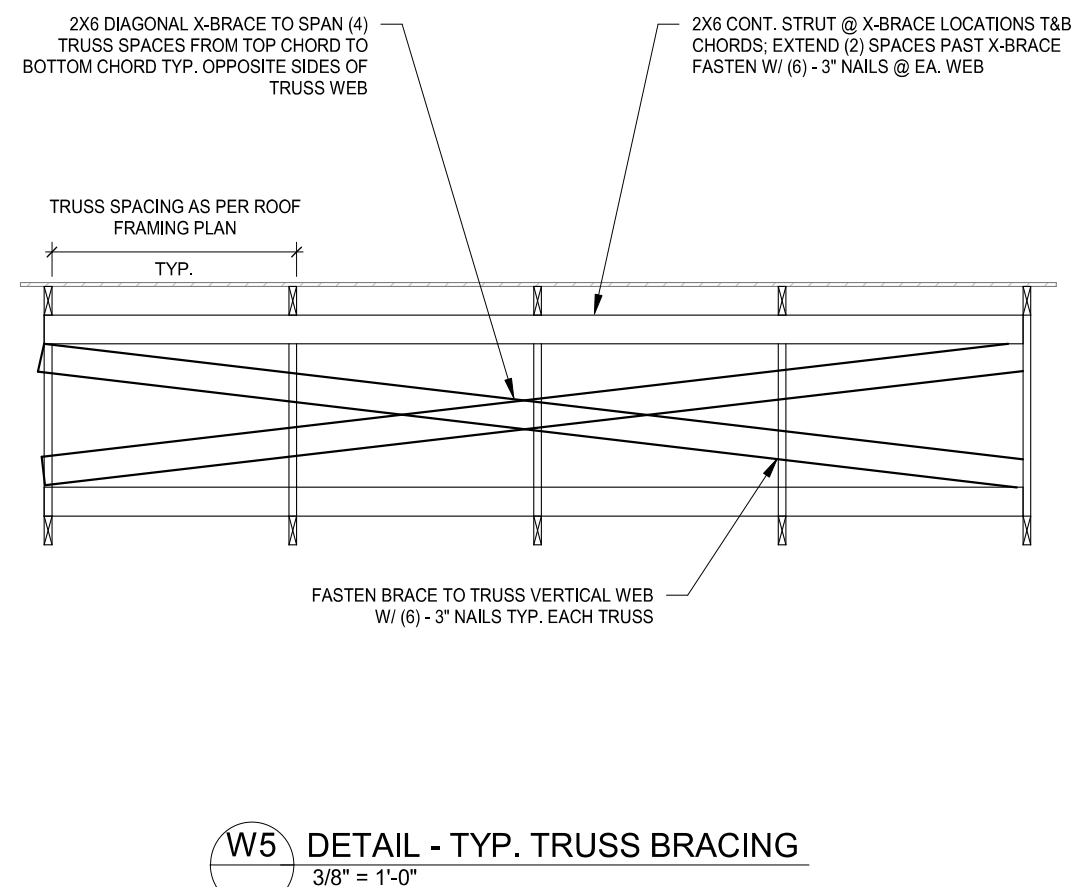
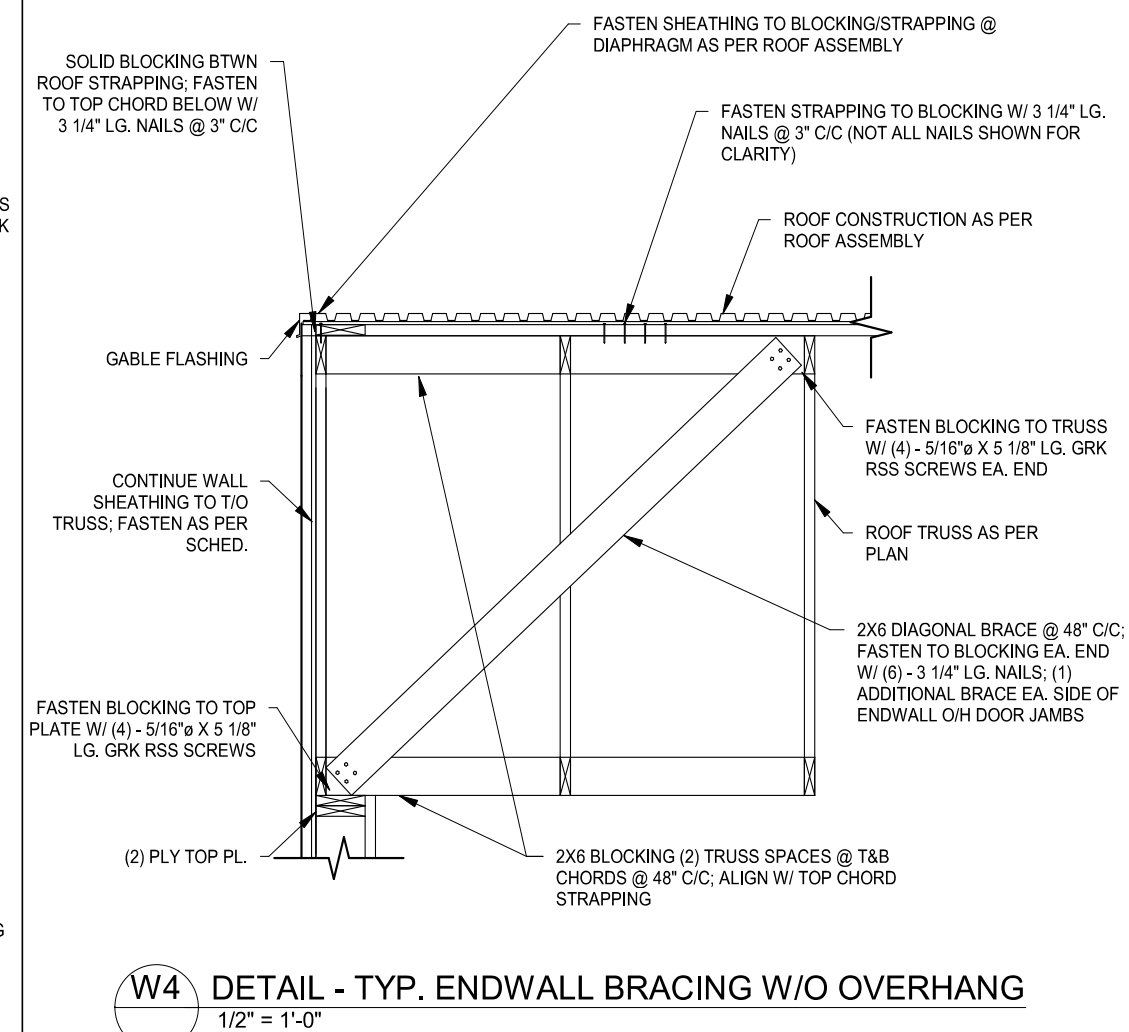
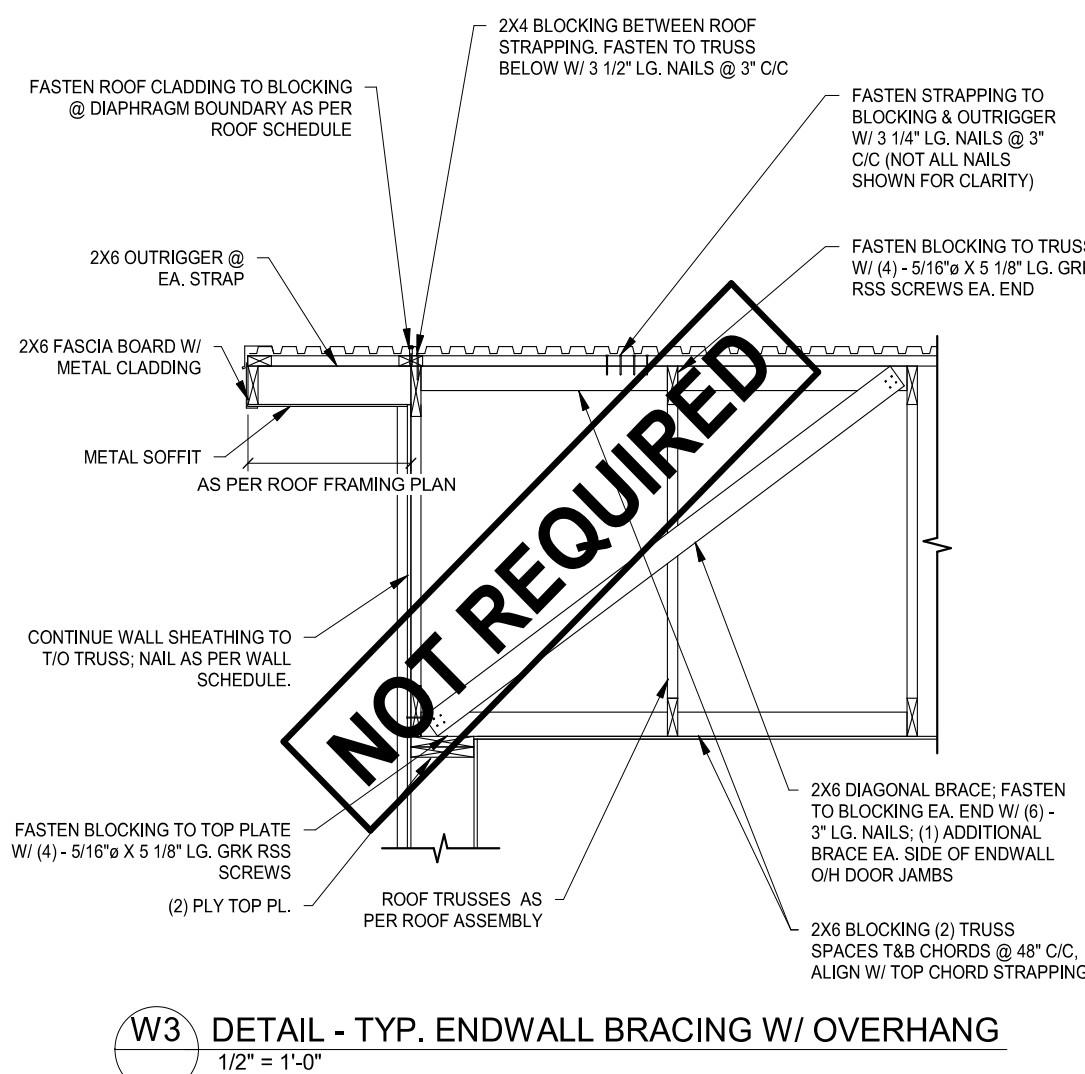
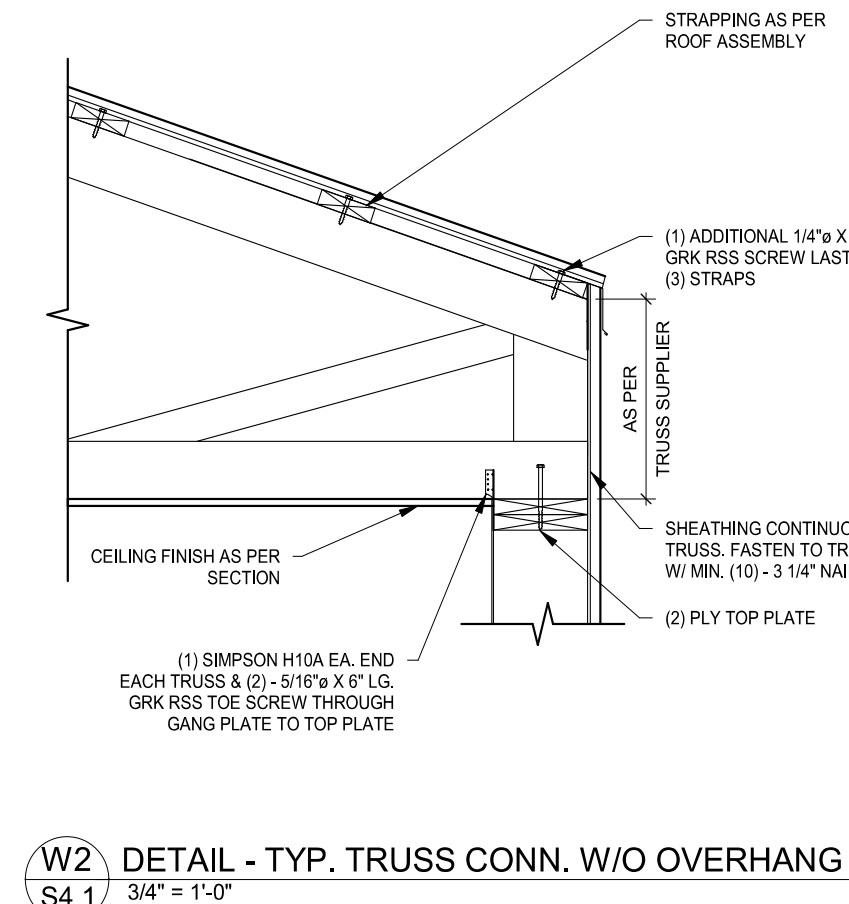
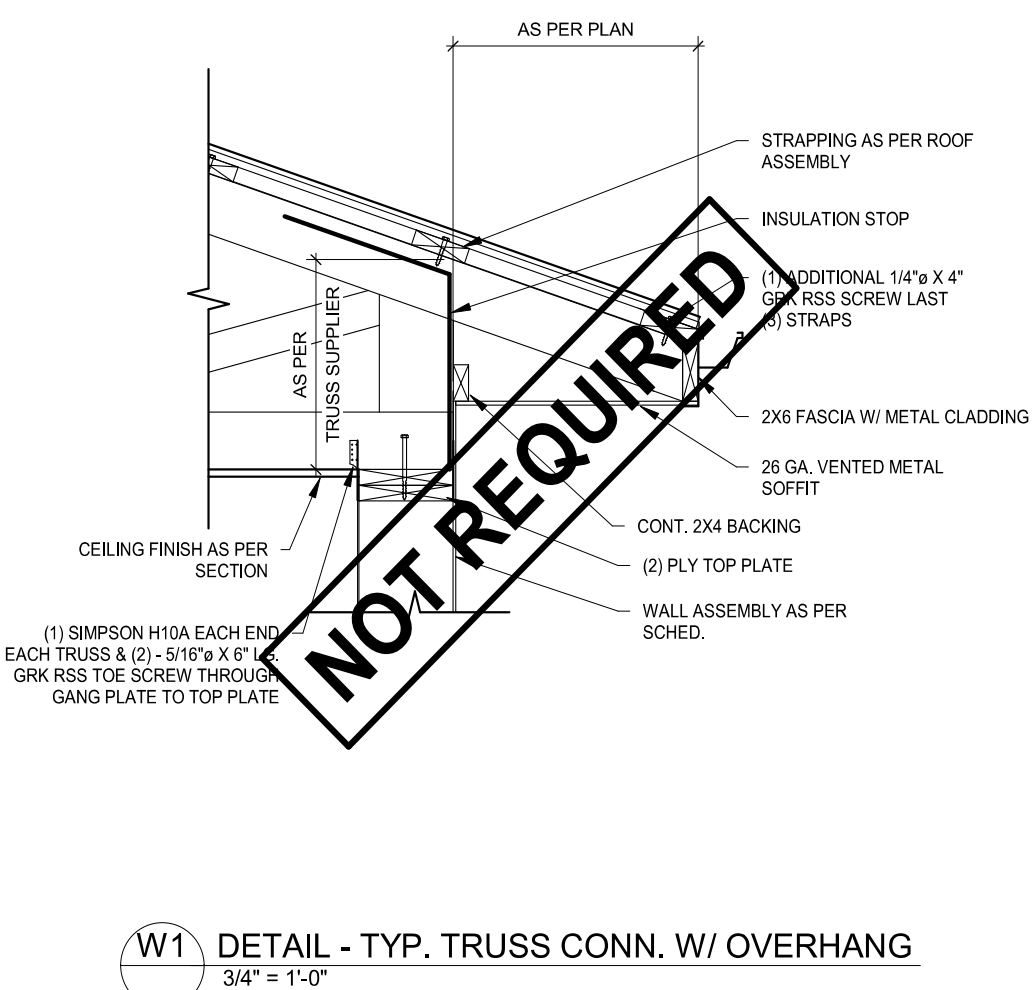
TYPICAL NOTES

CLIENT

FRANZ PETERS

DRAWN BY NG	CHECKED BY JE	DATE 25/08/01
SCALE (@ A1)	PROJECT NUMBER 25-45-001	
DRAWING NUMBER S1.1		REV 3

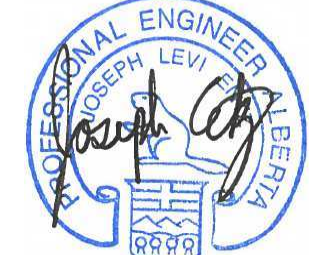
2025-08-01 5:40:49 PM



SEAL

August 6 2029

STUART JOHNSTONE, ARCHITECT LTD.
PERMIT No. AC284
ISSUED PURSUANT TO THE
ARCHITECTS ACT OF ALBERTA



2025-08-01
APEGA ID: 176756

**PERMIT TO PRACTICE
ANNO DOMINI ENGINEERING LTD.**

RM SIGNATURE: Joseph B. B.
RM APEGA ID #: 176756

DATE: 2025-08-01

PERMIT NUMBER: P016238
The Association of Professional Engineers and
Geoscientists of Alberta (APEGA)

[illegible]

ANNO DOMINI
ENGINEERING LTD.

PROJECT 60'X140' SHOP

TITLE

TYP FRAMING DETAIL S

CLIENT

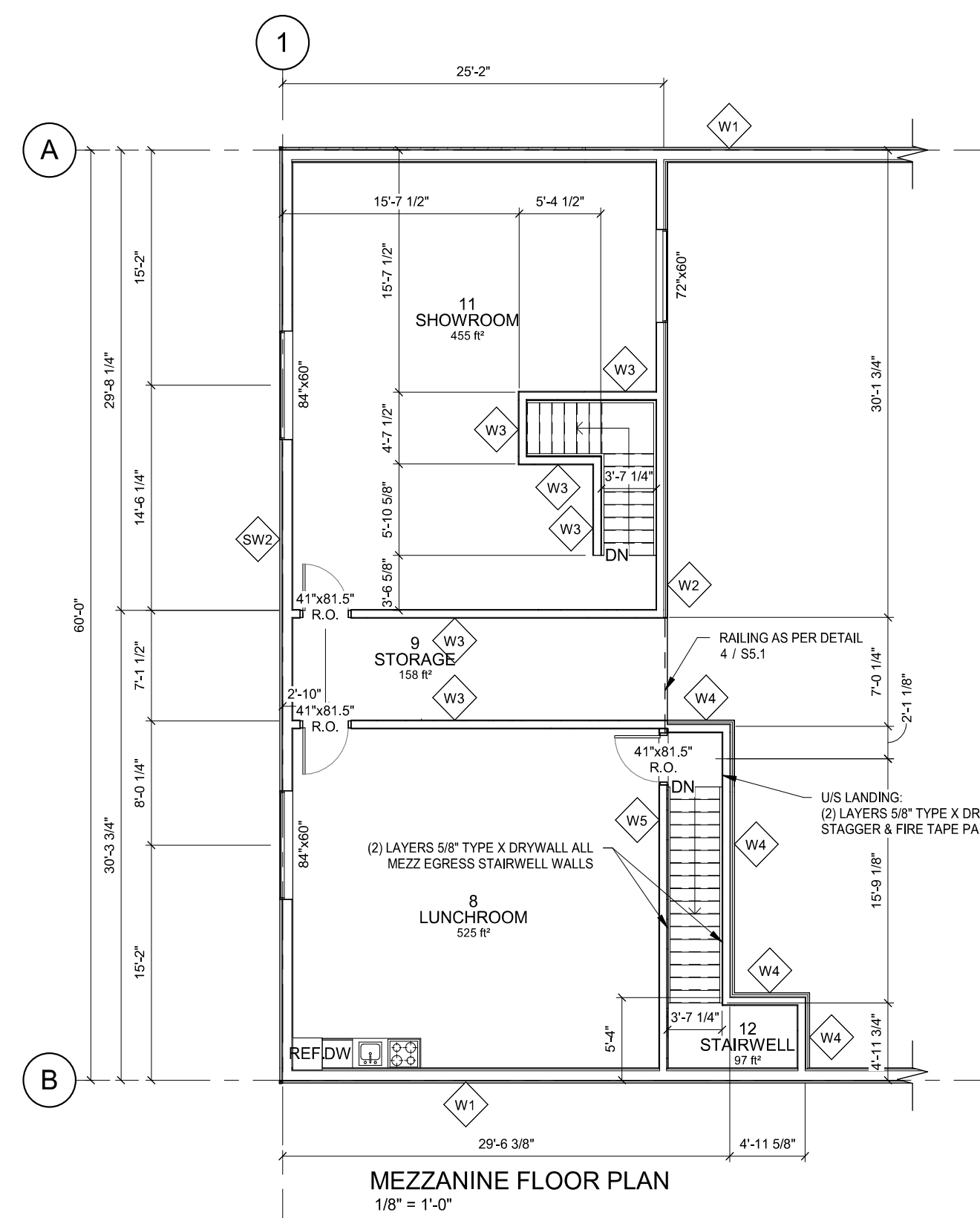
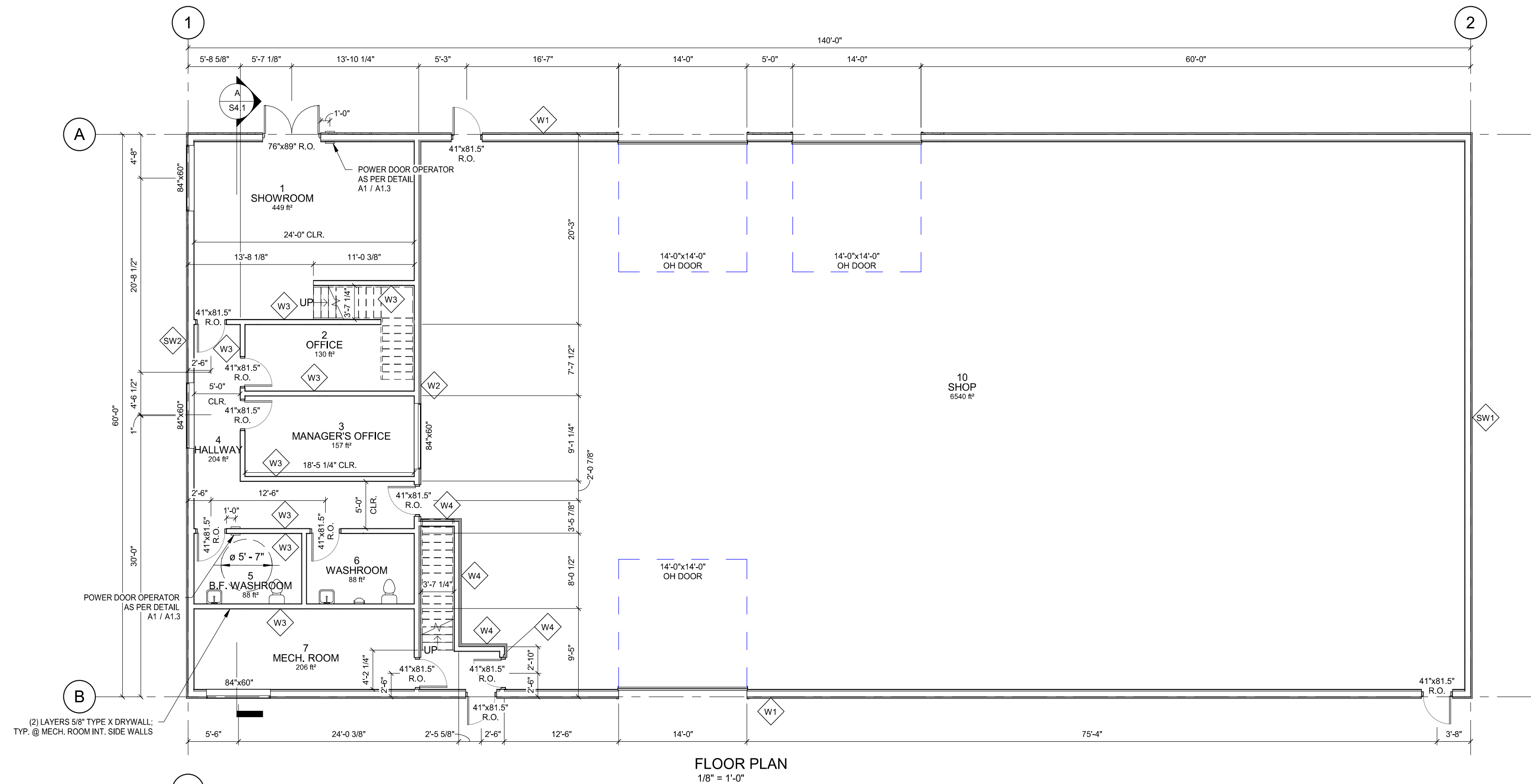
FRANZ PETERS

DRAWN BY NG	CHECKED BY JE	DATE 25/08/01
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SCALE (@ A1) As indicated	PROJECT NUMBER 25-45-001
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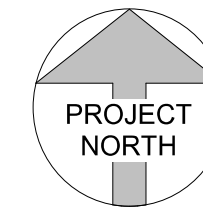
DRAWING NUMBER	REV
S1.3	3

2025-08-01 5:40:51 PM



ROOM SCHEDULE		
NUMBER	NAME	AREA
1	SHOWROOM	449 sq
2	OFFICE	136 sq
3	MANAGER'S OFFICE	157 sq
4	HALLWAY	204 sq
5	B.F. WASHROOM	88 sq
6	WASHROOM	88 sq
7	MECH. ROOM	206 sq
8	LUNCH-ROOM	525 sq
9	STORAGE	158 sq
10	SHOP	6540 sq
11	SHOWROOM	455 sq
12	STAIRWELL	92 sq

WALL SCHEDULE	
MARK	COMMENTS
W1 [SW1]	[EXT.] -29 GA. METAL CLADDING; FASTEN TO SHEATHING W/ #14 SCREWS @ 9" CC & @ 4 1/2 CC @ BOUNDARY (COLOUR AS PER OWNER) -BUILDING WRAP -5/8" SPF PLYWOOD SHEATHING; FASTEN W/ 2 1/2" LG. NAILS @ 6" OC (PANEL EDGES-IN-FIELD); 6" CC @ BOUNDARY -FASTEN W/ 2 1/2" LG. NAILS @ 3" OC (PANEL EDGES-IN-FIELD) & 3" CC @ SHEARWALL BOUNDARY, BLOCK ALL SHEATHING EDGES -2X8 SPF NO. 12 STUDS @ 16" CC; MIN. (1) ROW BLOCKING @ MID HEIGHT -R20 FIRE RAGULASS INSULATION -6 MIL POLY VAPOR BARRIER -2X4 STRAPPING @ 24" CC -29 GA. METAL LINER [INT.]
W2 [LOAD BEARING WALL]	[OFFICE] -1/2" DRYWALL -2X8 SPF NO. 12 STUDS @ 16" CC; BLOCKING @ MAX 48" CC -INSULATION AS PER OWNER -2X4 STRAPPING @ 24" CC -29 GA. METAL LINER [SHOP]
W3	-5/8" DRYWALL -2X8 SPF NO. 12 STUDS @ 16" CC; MIN. (1) ROW BLOCKING @ MID HEIGHT -5/8" DRYWALL* *SEE PLAN FOR MECH ROOM FIRE RATING REQUIREMENTS
W4	[STARWELL] -5/8" TYPE X DRYWALL -2X8 SPF NO. 12 STUDS @ 16" CC; BLOCKING @ MAX 48" CC -5/8" TYPE X DRYWALL -2X4 STRAPPING @ 24" CC -29 GA. METAL LINER [SHOP]
W5	[STARWELL] -5/8" TYPE X DRYWALL -2X8 SPF NO. 12 STUDS @ 16" CC; BLOCKING @ MAX 48" CC -5/8" DRYWALL [LUNCHROOM]
SW2	[EXT.] -29 GA. METAL CLADDING; FASTEN TO SHEATHING W/ #14 SCREWS @ 9" CC & @ 4 1/2 CC @ BOUNDARY (COLOUR AS PER OWNER) -BUILDING WRAP -5/8" SPF PLYWOOD SHEATHING; FASTEN W/ 2 1/2" LG. NAILS @ 3" OC (PANEL EDGES-IN-FIELD) -3" CC @ SHEARWALL BOUNDARY, BLOCK ALL SHEATHING EDGES -2X8 SPF NO. 12 STUDS @ 16" CC; BLOCK ALL SHEATHING EDGES -R20 FIRE RAGULASS INSULATION -6 MIL POLY VAPOR BARRIER -5/8" SPF PLYWOOD SHEATHING; FASTEN W/ 2 1/2" LG. NAILS @ 3" OC (PANEL EDGES-IN-FIELD); 3" CC @ BOUNDARY [INT.]



SEAL

August 6 202

STUART JOHNSTONE, ARCHITECT LTD.
PERMIT No. AC284
ISSUED PURSUANT TO THE
ARCHITECTS ACT OF ALBERTA



2025-08-01
APEGA ID: 176756

**PERMIT TO PRACTICE
ANNO DOMINI ENGINEERING LTD.**

RM SIGNATURE: _____

PM APEGA ID #: 176756

DATE: 2025-08-01

PERMIT NUMBER: P016238

The Association of Professional Engineers and
Geoscientists of Alberta (APEGA)

[illegible]

ANNO DOMINI
ENGINEERING LTD.

PROJECT	
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60'X140' SHOP

TITLE

FLOOR PLAN

CLIENT	
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FRANZ PETERS

DRAWN BY NG	CHECKED BY JE	DATE 25/08/01
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SCALE (@ A1)	PROJECT NUMBER
1/8" = 1'-0"	25-45-001

DRAWING NUMBER	F
S2.1	



NOTES:
- APRON DIMENSIONS AS PER OWNER TYP.
- CONFIRM DOOR ROUGH OPENINGS PRIOR TO POURING DOOR BUCKS
- PILASTERS AS PER FOUNDATION DETAILS

ANNO DOMINI
ENGINEERING LTD.

PROJECT
60'X140' SHOP

TITLE

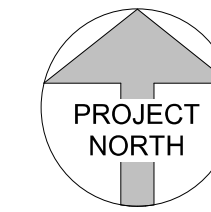
FOUNDATION PLAN

CLIENT

FRANZ PETERS

DRAWN BY NG	CHECKED BY JE	DATE 25/08/01
SCALE (@ A1) As indicated	PROJECT NUMBER 25-45-001	
DRAWING NUMBER S2.2		REV 3

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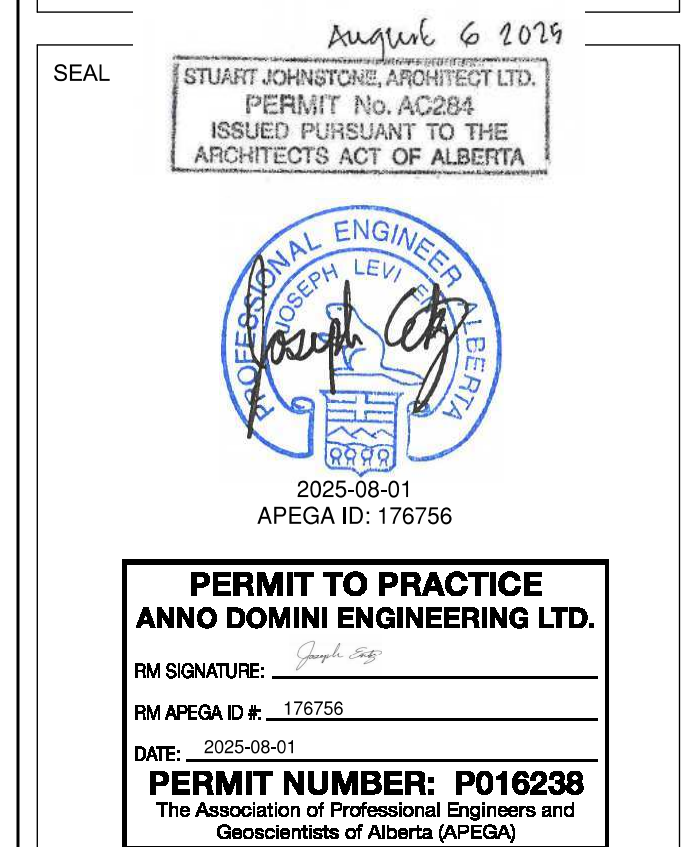
MEZZANINE FRAMING PLAN

1/8" = 1'-0"

NOTES:
- ALL DIMENSIONAL LUMBER TO BE SPF NO. 1/2 OR BETTER

[illegible]

DRAWING NUMBER	REV
S2.3	3

[illegible]

ANNO DOMINI
ENGINEERING LTD.

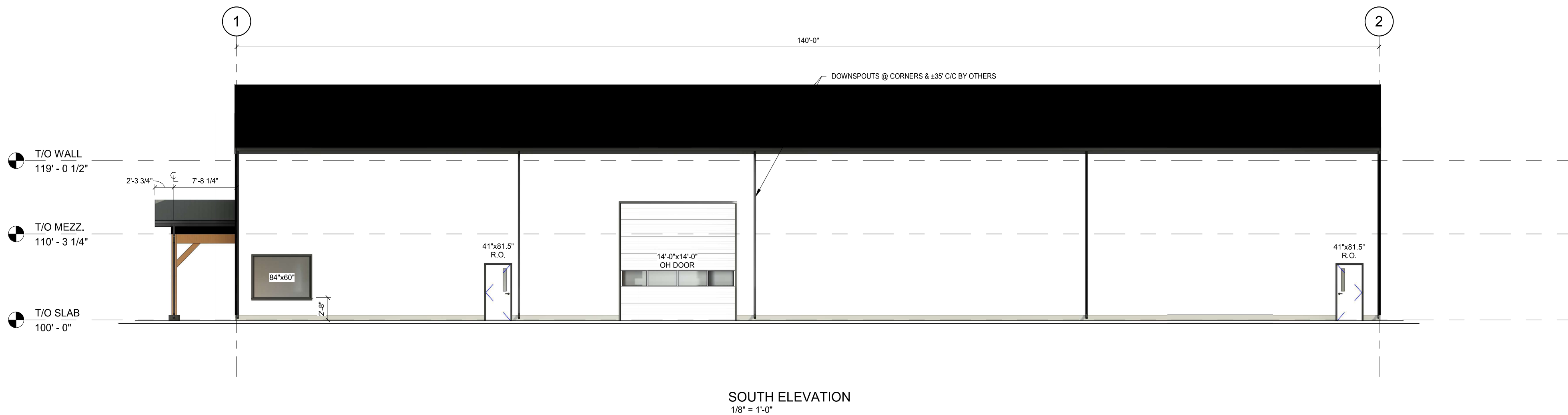
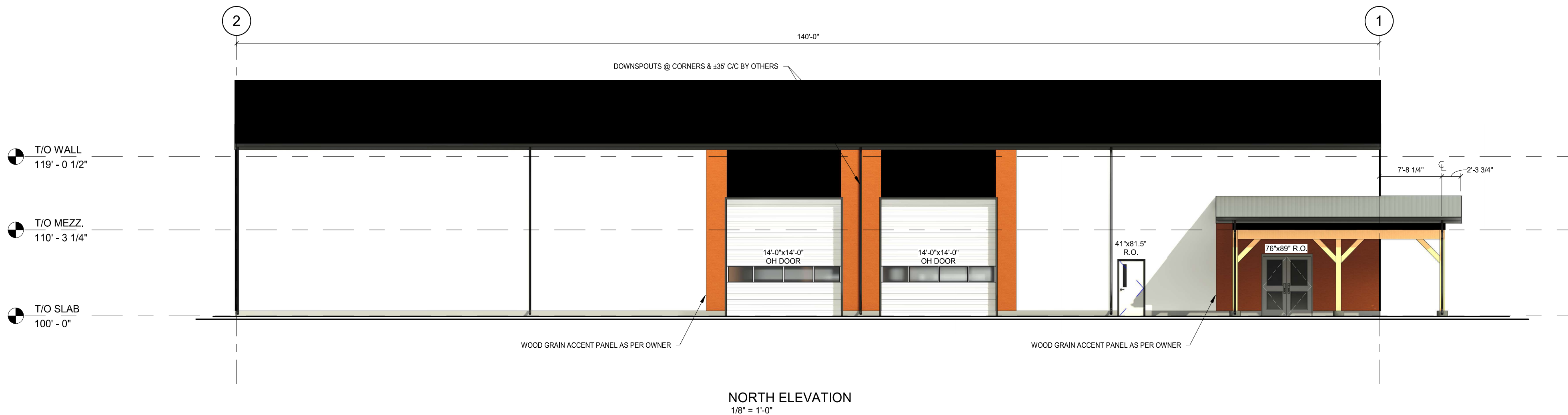
PROJECT
60'X140' SHOP

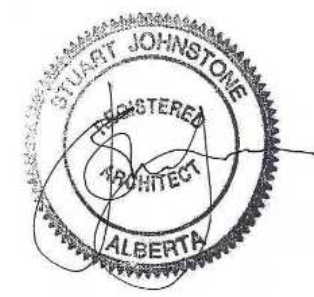
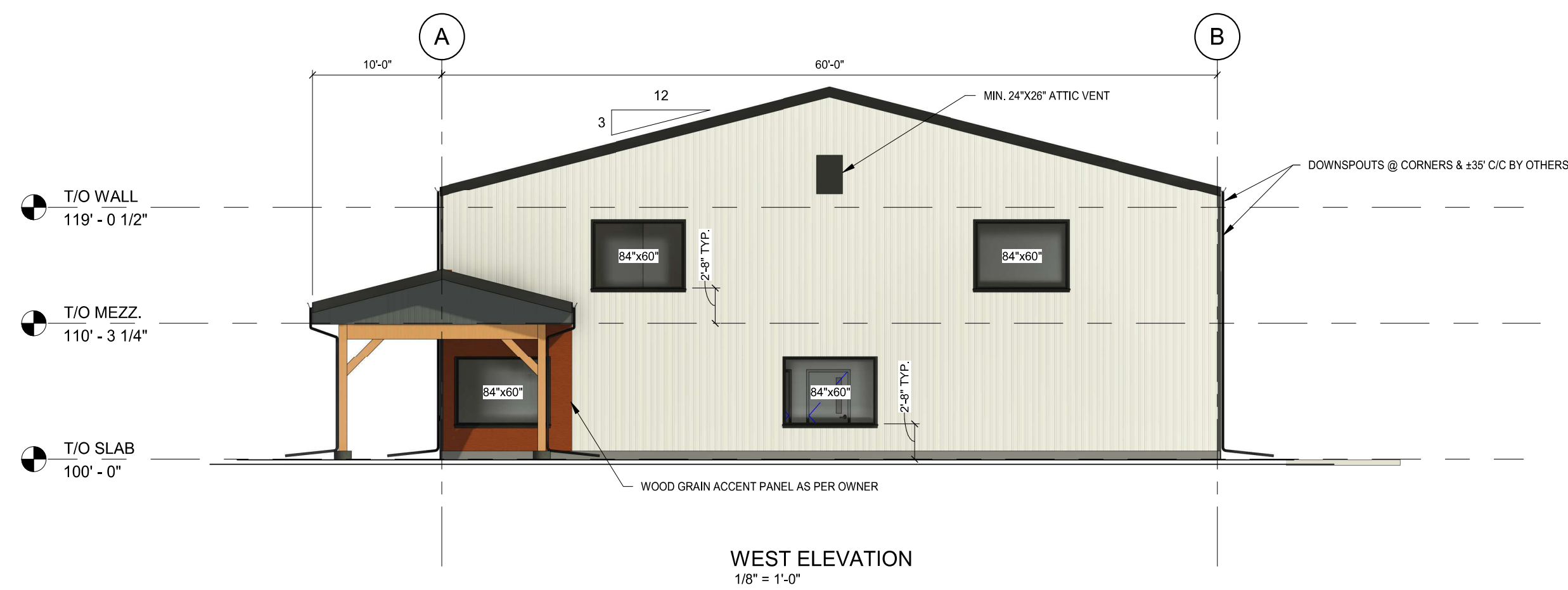
TITLE	ELEVATIONS
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CLIENT
FRANZ PETERS

DRAWN BY NG	CHECKED BY JE	DATE 25/08/01
SCALE (@ A1) 1/8" = 1'-0"	PROJECT NUMBER 25-45-001	
DRAWING NUMBER S3.1		REV 3

2025-08-01 5:41:24 PM





August 6 2029

SEAL

STUART JOHNSTONE, ARCHITECT LTD.
PERMIT No. AC284
ISSUED PURSUANT TO THE
ARCHITECTS ACT OF ALBERTA



2025-08-01
APEGA ID: 176756

PERMIT TO PRACTICE
ANNO DOMINI ENGINEERING LTD.

RM SIGNATURE: Joseph E. [Signature]

RM APEGA ID #: 176756

DATE: 2025-08-01

PERMIT NUMBER: P016238
The Association of Professional Engineers and
Geoscientists of Alberta (APEGA)

[illegible]

ANNO DOMINI
ENGINEERING LTD.

PROJECT
60'X140' SHOP

TITLE

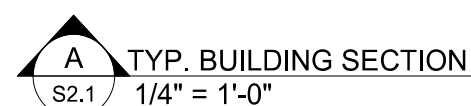
ELEVATIONS

CLIENT

FRANZ PETERS

DRAWN BY NG	CHECKED BY JE	DATE 25/08/01
SCALE (@ A1) 1/8" = 1'-0"		PROJECT NUMBER 25-45-001
DRAWING NUMBER S3.2		REV 3

2025-08-01 5:41:42 PM



FLOOR SCHEDULE	
MARK	ASSEMBLY
F1	(TOP) • 3/4" T&G SHEATHING • 1" DEEP JOISTS DESIGNED BY SUPPLIER • INSULATION AS PER OWNER • 5/8" DRYWALL (BOTTOM) *SEE NOTE ON PLAN AND SECTION FOR MECH. ROOM AND STAIR FIRE RATING

[illegible]

PROJECT 60'X140' SHOP

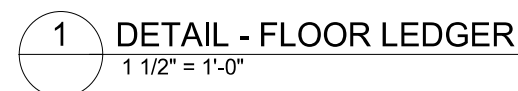
SECTIONS

CLIENT

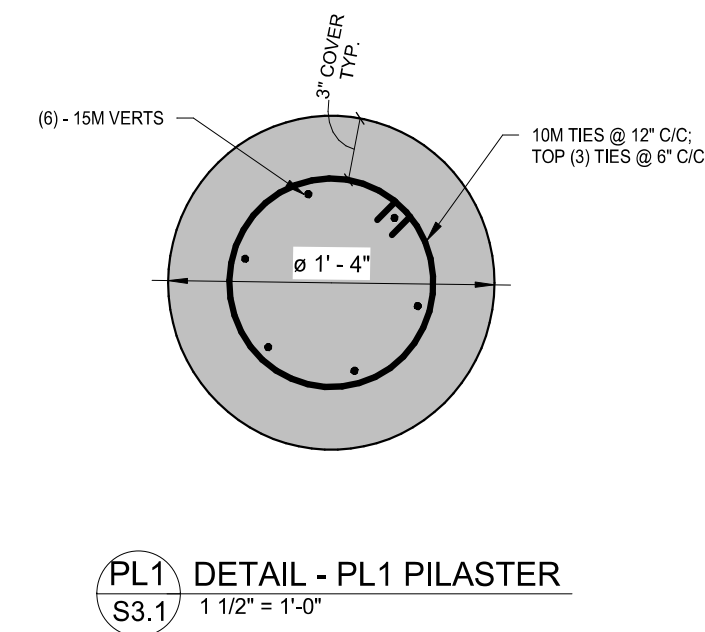
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DRAWN BY NG	CHECKED BY JE	DATE 25/08/01
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DRAWING NUMBER S4.1		REV 3

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DRAWN BY NG	CHECKED BY JE	DATE 25/08/01
SCALE (@ A1) As indicated	PROJECT NUMBER 25-45-001	
DRAWING NUMBER S5.1		REVISION

[illegible]

ANNO DOMINI
ENGINEERING LTD.

PROJECT
60'X140' SHOP

TITLE	FOUNDATION DETAILS
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CLIENT

FRANZ PETERS

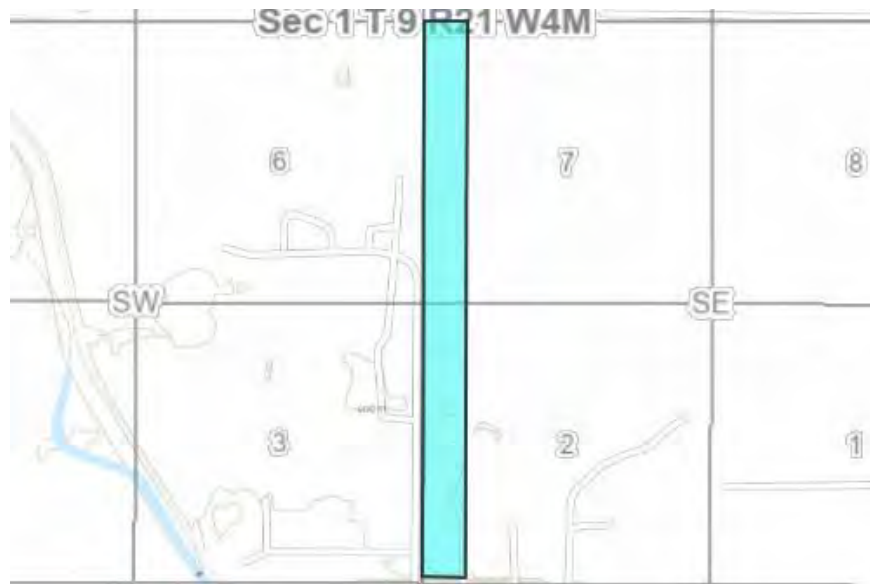
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DRAWING NUMBER S6.1		REV 3

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Transportation and Economic Corridors Notice of Referral Decision

Municipal Development in Proximity of a Provincial Highway

Municipality File Number:	2025-183	Highway(s):	3, 512, 4X
Legal Land Location:	QS-SE SEC-01 TWP-009 RGE-21 MER-4	Municipality:	Lethbridge County
Decision By:	Leah Olsen	Issuing Office:	Southern Region / Lethbridge
Issued Date:	October 8, 2025	AT Reference #:	RPATH0062763
Description of Development:	Single-Detached Site-Built Dwelling (2622 sq. ft. main, 617 sq. ft. 2nd), Attached Garage (1888 sq. ft.), Two (2) Covered Patios (236 sq. ft., 1157 sq. ft.), and a Height Waiver; Building and Trade Contractor Services Shop (Cabinetry - 8400 sq. ft. main, 1510 sq. ft. 2nd) with Lean-To (405 sq. ft.)		



This will acknowledge receipt of your circulation regarding the above noted proposal. Transportation and Economic Corridors primary concern is protecting the safe and effective operation of provincial highway infrastructure, and planning for the future needs of the highway network in proximity to the proposed development(s).

Transportation and Economic Corridors offers the following comments and observations with respect to the proposed development(s):

In reviewing the application, the proposed development falls within the permit area of a provincial highway as outlined in the Highways Development and Protection Act/Regulation, and will require a permit from Alberta Transportation.

The application can be submitted through the RPATH portal at [RPATH Portal](#) and may be subject to additional requirements.

Transportation and Economic Corridors will not issue a Roadside Development permit for this proposed development until Subdivision 2025-0-003 has met all the conditions and registered at Land Titles Office.

- Pursuant to Section 618.3(1) of the Municipal Government Act (MGA), the department expects that the municipality will comply with any applicable items related to provincial highways in an ALSA plan if applicable
- Pursuant to 618.4(1) of the Municipal Government Act, the department expects that the Municipality will mitigate the impacts of traffic generated by developments approved on the local road connections to the highway system, in accordance with Policy 7 of the Provincial Land Use Policies.

Please contact Transportation and Economic Corridors through the [RPATH Portal](#) if you have any questions, or require additional information



Issued by **Leah Olsen, Development and Planning Tech,**
on **October 8, 2025** on behalf of the Minister of
Transportation and Economic Corridors

AGENDA ITEM REPORT



Title: 2026 Council Meeting Schedule
Meeting: Council Meeting - 16 Oct 2025
Department: Administration
Report Author: Candice Robison

APPROVAL(S):

Cole Beck, Chief Administrative Officer

Approved - 09 Oct 2025

STRATEGIC ALIGNMENT:



Governance



Relationships



Region



Prosperity

EXECUTIVE SUMMARY:

Administration is recommending that the 2026 Council Meeting Schedule be approved with one Council Meeting each for the months of January, March, June, August & November.

RECOMMENDATION:

That County Council approves the 2026 Council Meeting Schedule with one Council Meeting each for the months of January, March, June, August and November and that these dates be advertised as appropriate.

REASON(S) FOR RECOMMENDATION(S):

Scheduling one meeting per month for January, March, June, August and November will allow Council to attend conferences, legislative events and plan for summer vacations or other activities.

PREVIOUS COUNCIL DIRECTION / POLICY:

The Procedural Bylaw sets out all the dates of Council meetings during the year with revisions to meeting dates brought forward to Council for approval as needed.

BACKGROUND INFORMATION:

Historically, there has only been one meeting in January as it is the beginning of the year. The 2026 Provincial ASB Conference will be held in Edmonton January 20-22.

The 2025 Spring RMA Convention is being held March 16-18. These dates conflict with the 2nd Council meeting in March.

Historically, there has only been one meeting in July and August. However this year we are suggesting one meeting in June and August due to FCM.

The 2026 Fall RMA Convention is being held November 2-5. These dates conflict with the 1st Council meeting in November.

Special Meetings of Council can be scheduled at any time should an issue arise.

ALTERNATIVES / PROS / CONS:

Council could consider the following when deliberating this decision:

Pros:

- Will allow attendance by Council at County Council meetings as well as planned conferences and events.

Cons:

- County Council could choose not to set the meeting dates.

Alternative:

- County Council could change or choose alternative dates to hold the meetings.

FINANCIAL IMPACT:

No financial impact at this time.

LEVEL OF PUBLIC PARTICIPATION:



Inform



Consult



Involve



Collaborate



Empower

ATTACHMENTS:

[2026 Council Meeting Schedule](#)

2026

Lethbridge County Council Meeting Schedule

January						
S	M	T	W	TH	F	S
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	31

February						
S	M	T	W	TH	F	S
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28

March						
S	M	T	W	TH	F	S
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

April						
S	M	T	W	TH	F	S
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30		

May						
S	M	T	W	TH	F	S
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

June						
S	M	T	W	TH	F	S
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30				

July						
S	M	T	W	TH	F	S
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	

August						
S	M	T	W	TH	F	S
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					

September						
S	M	T	W	TH	F	S
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30			

October						
S	M	T	W	TH	F	S
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	31

November						
S	M	T	W	TH	F	S
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30					

December						
S	M	T	W	TH	F	S
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	31		

- Statutory Holiday
- Lethbridge County Council Meeting
- Rural Municipalities of Alberta (RMA) Convention (Spring: March 16-18) (Fall: November 2-5)
- Federation of Canadian Municipalities (FCM) Conference (June 4-7)
- Organizational Meeting
- Agricultural Service Board Meeting
- ASB Provincial Conference (January 20-22)

AGENDA ITEM REPORT



Title: Lethbridge County Council Attendance Update - September 2025
Meeting: Council Meeting - 16 Oct 2025
Department: Administration
Report Author: Candice Robison

APPROVAL(S):

Cole Beck, Chief Administrative Officer

Approved - 09 Oct 2025

STRATEGIC ALIGNMENT:



Governance



Relationships



Region



Prosperity

EXECUTIVE SUMMARY:

To remain transparent to its citizens, Lethbridge County Council members report on their activities and events attended throughout the month.

RECOMMENDATION:

No motion required.

REASON(S) FOR RECOMMENDATION(S):

To remain transparent to the citizens of Lethbridge County.

PREVIOUS COUNCIL DIRECTION / POLICY:

A County Council update is provided monthly.

BACKGROUND INFORMATION:

In order to remain transparent to its citizens, Lethbridge County Council members provide a monthly report on their activities and events for the prior month.

ALTERNATIVES / PROS / CONS:

By not reporting activities and events attended by members of Council, citizens are unaware of the events occurring within the region and are unaware of the participation of Council with regards to community events.

FINANCIAL IMPACT:

None at this time.

LEVEL OF PUBLIC PARTICIPATION:



Inform



Consult



Involve



Collaborate



Empower

ATTACHMENTS:

[Lethbridge County Council Attendance Update - September 2025](#)

**Lethbridge County Council Attendance
September 2025**

Division 1

Councillor Lorne Hickey

September 3	FCSS Board Meeting
September 4	Lethbridge County Council Meeting
September 17	Green Acres Finance Meeting
September 18	Lethbridge County Council Meeting
September 19	RMA Member Visit
September 19	Foothills Little Bow Municipal Association
September 24	Green Acres Board Meeting

Division 2

Reeve Tory Campbell

September 3	Virtual Special Meeting, EDL
September 4	Lethbridge County Council Meeting
September 5	Mayors & Reeves
September 11	Chinook Arch Finance Committee Meeting
September 17	EDL Board Meeting
September 18	Lethbridge County Council Meeting
September 19	RMA Member Visit
September 19	Foothill Little Bow Municipal Association
September 23	Dinner Meeting with Dutch Deputy Consul General & Staff

Division 3

Councillor Mark Sayers

September 4	Lethbridge County Council Meeting
September 18	Lethbridge County Council Meeting
September 19	RMA Member Visit
September 19	Foothills Little Bow Municipal Association

Division 4

Deputy Reeve John Kuerbis

September 2	Weekly Meeting with Community Futures Executive Director
September 4	Lethbridge County Council Meeting
September 9	Weekly Meeting with Community Futures Executive Director

September 10	Virtual Meeting with Prairie Can
September 16-18	Community Futures Symposium
September 19	RMA Member Visit
September 19	Foothills Little Bow Municipal Association
September 23	Weekly Meeting with Community Futures Executive Director
September 24	Community Futures Monthly Board Meeting

Division 5

Councillor Kevin Slomp

September 4	Lethbridge County Council Meeting
September 18	Lethbridge County Council Meeting
September 19	RMA Member Visit

Division 7

Councillor Morris Zeinstra

September 4	Lethbridge County Council Meeting
September 6	Iron Springs Parade
September 18	Lethbridge County Council Meeting
September 19	RMA Member Visit
September 19	Foothills Little Bow Municipal Association



Branch 4
General Stewart

The Royal Canadian Legion
The General Stewart Branch No.
2019 4 Avenue South
Lethbridge, ALBERTA T1J 5X5
Phone: 1-403 327 6644
Email: legionmamnager@shaw.ca

October 9, 2025

Tory Campbell – Reeve
County of Lethbridge
#100 905 4 Ave S
Lethbridge, AB
T1J 4E4
Email: tcampbell@lethcounty.ca

Dear Tory:

Re: Remembrance Day Service 2025

The Remembrance Day Committee cordially invites you to participate as a VIP in this years Remembrance Day Parade and Service, Tuesday, November 11, 2025.

You are asked to be at the **Agri-food Hub & Trade Centre** no later than **10:00 A.M.** Upon arrival, please go to the **Designated Area in Trade Hall "C"**.

As you will be placing a wreath, we ask you to go to the designated area in Trade Hall "C" when the **M.C. announces the wreath laying**. Your wreath will be provided. A representative must be present for a wreath to be laid.

Please RSVP to Rick Drought 250-919-1330 or email gasmate@telus.net.

We look forward to your participation in the Remembrance Day Service and thank you for your support and co-operation.

Yours truly

Richard Drought

Richard Drought
Sgt at Arms
Remembrance Day Committee